

EXTERNAL WALL INSPECTION



**PROPERTY:
GROATHILL ROAD SOUTH
EDINBURGH
EH14 1TG**

REF: DIA1716

DATE: OCTOBER 2021

CLIENT: CARMICHAEL HOMES

DIAMOND & COMPANY (SCOTLAND) LTD. CHARTERED BUILDING SURVEYORS
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Date of Inspection: August 2021

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Report checked by: Philip Diamond MRICS Email: phil@diamondandco.net
Chartered Building Surveyor Tel: 01236 803 444

File Reference: DIA1716

Report Issue & Date: First issue – October 2021

LIMITATIONS

This report is the property of Diamond & Company (Scotland) Ltd, Chartered Building Surveyors and is confidential to the client designated in the report. Whilst it may be shown to their professional advisers, the contents are not to be disclosed to, or made use of, by any third party, without our express written consent. Without such consent we can accept no responsibility to any third party.

The report is prepared as an aid to assessing compliance with the Scottish Government Advice note "Determining the fire risk posed by external wall systems in existing multi-storey residential buildings" dated August 2021, which now supersedes the MHCLG Guidance which was been adopted in Scotland dating from the 20th January 2020 and the RICS Guidelines dated March 2021. The Scottish Advice Note (SAN) is standalone Guidance and has no bearing on the Building Control / Completion Certificate process. The Guidance is utilised by the lending industry to determine whether the external walls are constructed utilising materials that would be regarded as being combustible.

We have been provided with a comprehensive package of drawings by the architects for the scheme and have checked the statutory consents via the Local Authorities online portal.

The Report solely comments on the compliance of the external walls with SAN Advice Note. It is assumed that the works identified on the Building Warrant Application are being constructed in accordance with the Statutory Consents issued and that a Completion Certificate will subsequently be issued.

Our survey only encompasses the external walls no comments are made in respect to the roof, internal structure, fittings and finishes.

Diamond & Company (Scotland) Ltd, Chartered Building Surveyors certify that they have carried out the work contained herein with due care and diligence to their best belief and knowledge based on the time and information available.

This report is made on behalf of Diamond & Company (Scotland) Ltd, Chartered Building Surveyors. By receiving it and acting on it, the client – or any third party relying on it – accepts that no individual is personally liable in contract, tort or breach of statutory duty (including negligence).

The report cannot be relied upon by any owners or third-party lenders in respect to any individual sales or transactions relating to this building unless specific permission is sought from Diamond & Company (Scotland) Ltd, Chartered Building Surveyors.

DIAMOND & COMPANY (SCOTLAND) LTD, CHARTERED BUILDING SURVEYORS



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1.0 INTRODUCTION

1.1 Scope of Instructions

In accordance with instructions received from Carmichael Construction (the client) Diamond & Company (Scotland) Ltd, Chartered Building Surveyors were requested to carry out an assessment of the development at the stated address in relation to the external wall cladding construction and the possible issue of External Wall Appraisal Certification.

1.2 Property Address

Groathill Road South
Edinburgh
EH4 2LS

1.3 Client's Name & Address

Carmichael Homes
Challenge House
29 Canal Street
Glasgow
G4 0AD

1.4 Date of Survey

June 2021

1.5 Surveyor

James McCulloch BSc (Hons)

1.6 Weather

The weather conditions at the time of our inspections were

1.7 Orientation

For the purposes of our inspection, we consider the front elevation of the building facing on to the South Groathill Avenue be orientated due East. All directions are given within the report as if standing externally facing the site. All left hand and right-hand designations are based on this.

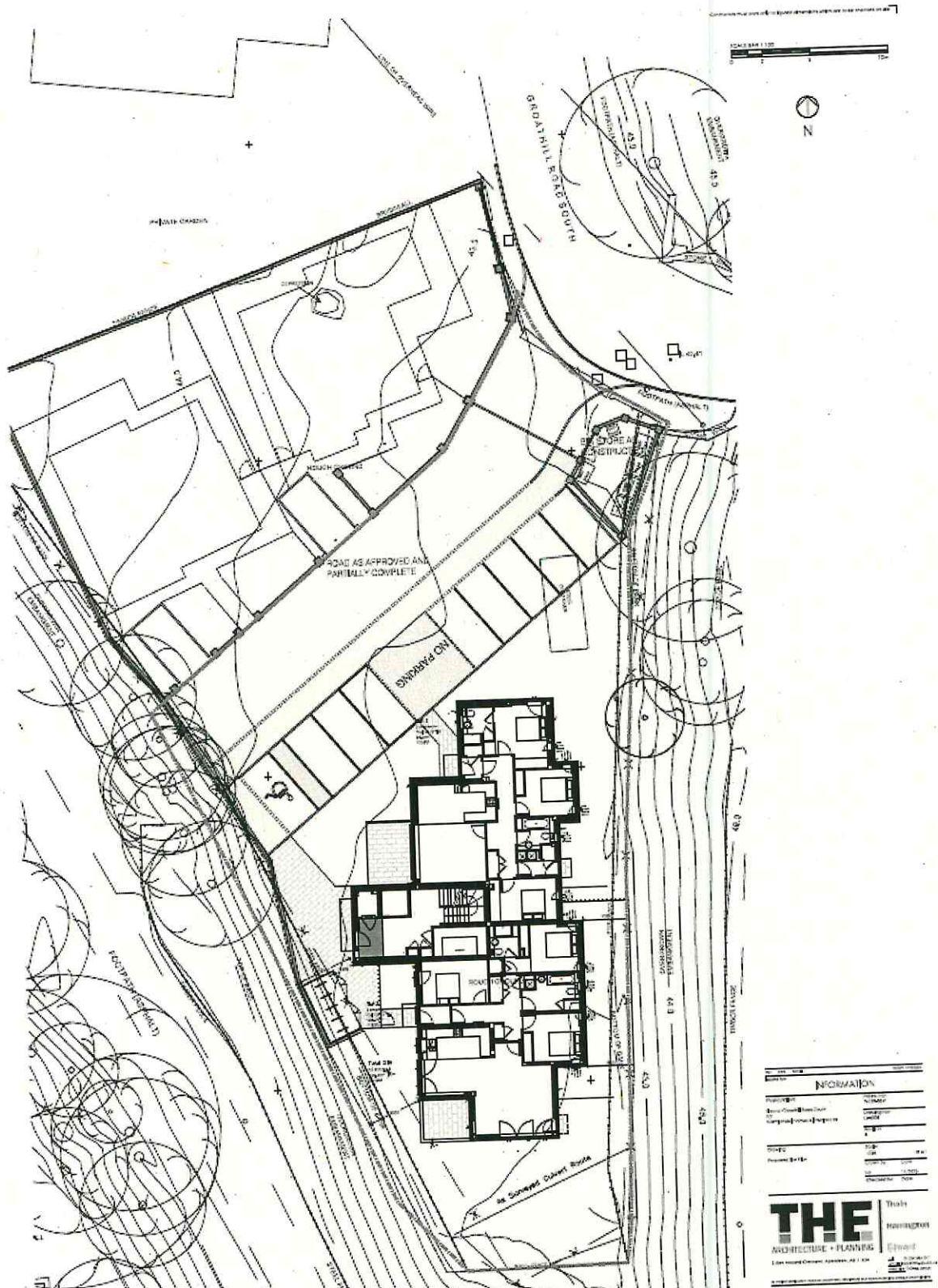


Figure 1: Indicative site plan of the Groathill Road South development (Source: THE Architecture & Planning)

2.0 BRIEF DESCRIPTION OF PROPERTY

2.1 General Description

The development is located approximately three miles West of Edinburgh City Centre in the Craighleith locale. The site is bounded by South Groathill Avenue to the East and a mixture of urban wooded areas and residential accommodation elsewhere.

The former brownfield site was previously vacant for a number of years before being earmarked for development in the 2010's. Carmichael Homes intend to provide ten luxury three-bedroom apartments on the site, including two duplex apartments with terraces to the top floor.

External elevation walls have been designed with facing brickwork as the principal finish with the inclusion of a zinc, standing seam cladding external finish to the top floor apartments.

Stacked balconies are present throughout the property and comprise of steel frames with glass balustrades. The decking material is still to be specified. Apartments at fifth and sixth floor level feature terraces and again the decking material is still to specified.

Windows throughout comprise of aluminium clad, timber framed double glazed units.

3.0 OBSERVATIONS AND FINDINGS

3.1 External Elevations Generally

3.1.1 Our instructions are in relation to the external wall construction of the properties **exclusively**, and therefore examination or surveys of other external or internal elements of the buildings or site have not been undertaken.

3.1.2 Formal inspections will be undertaken throughout the course of construction. All areas of detailing to the external wall construction will be observed from ground level and at high level via any scaffolding in place as part of the ongoing works.

3.1.3 The properties, and wider site, will be at the early stages of development during our inspections, with practical completion aiming to be achieved in late 2021 / early 2022.

3.1.4 The finishes to the external elevations of the development are as follows:

- Facing brickwork
- Zinc standing seam cladding (Top floor only)

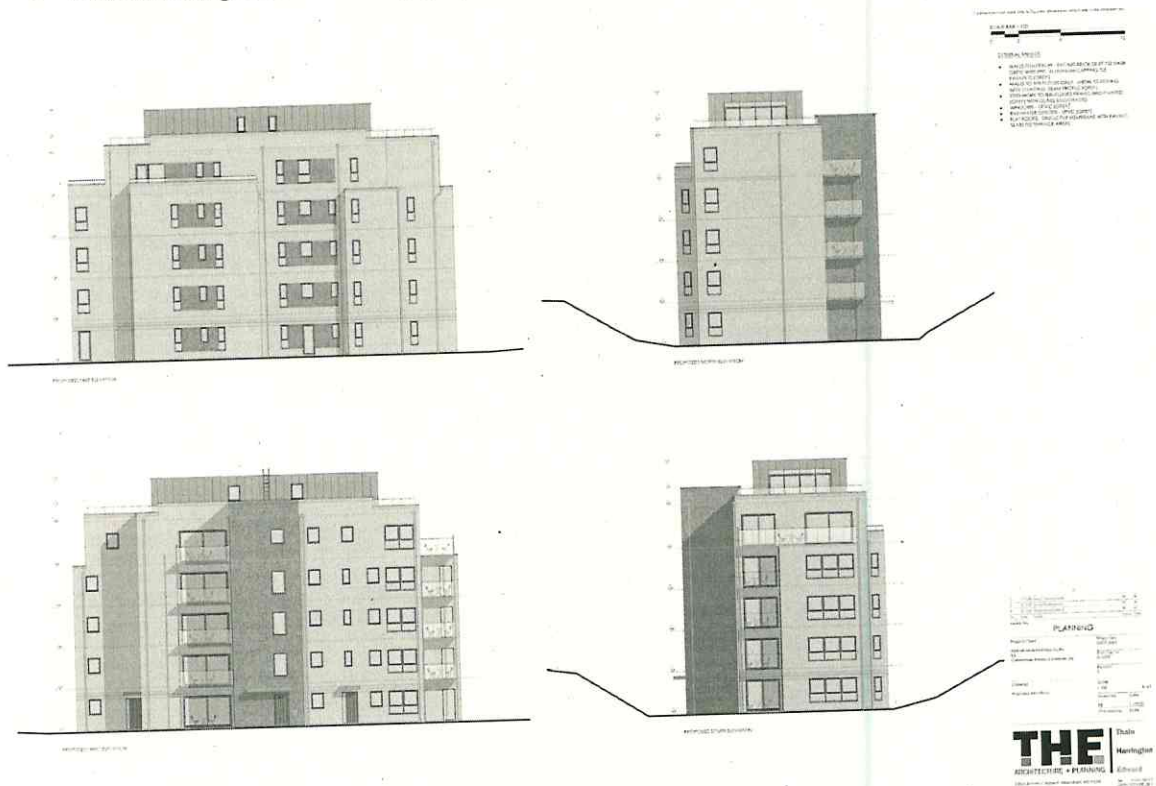


Figure 2: Proposed elevations of the South Groathill Road development (Source: THE Architecture & Planning)

3.1.5 We have been provided with the Architect's construction details for the external elevation wall construction and for the purpose of this report we assume that the Design Team have been working to ensure compliance with the specification.

3.1.6 The construction details indicate that the development utilises lightweight steel framing construction techniques.

The core lightweight steel frame structure has been designed using the following components:

Lightweight Steel Frame

- 150mm light gauge steel frame system which acts with heavier individual steel members to support both the internal and external linings.
- The frame is constructed on a floor-by-floor basis and is designed to support profiled metal decking which form the permanent formwork to support the cast in situ concrete floors.
- The internal face of the system is to be lined with 2 No. layers of Gyproc Wallboard incorporating a vapour control layer with 100mm of non-combustible stone wool insulation fitted between the steel studs.
- The external face of the of the steel frame is lined with a 9mm fibre cement particle board over which lies a breather membrane.
- 40mm of rigid phenolic foam insulation, identified as Kingspan Kooltherm K112 framing board, is fitted over the external sheathing to form a partially filled cavity after external finishes are applied.
- At fifth floor level non-combustible mineral wool is introduced as the means of insulation.

3.1.7 The core framework will be finished externally in various materials with the following build ups:

External Leaf Build Up

- 1) **Facing brickwork:** 102.5mm facing brick with a 60mm wide cavity. The brickwork will be tied back to the underlying core structure using brick ties slotted into vertical channels fixed back to the core structure.
- 2) **Zinc standing seam cladding:** 0.7mm zinc coated steel secret fixed to metal carrier rail system. The carrier rail system is then in turn mechanically fixed back to the underlying core structure.

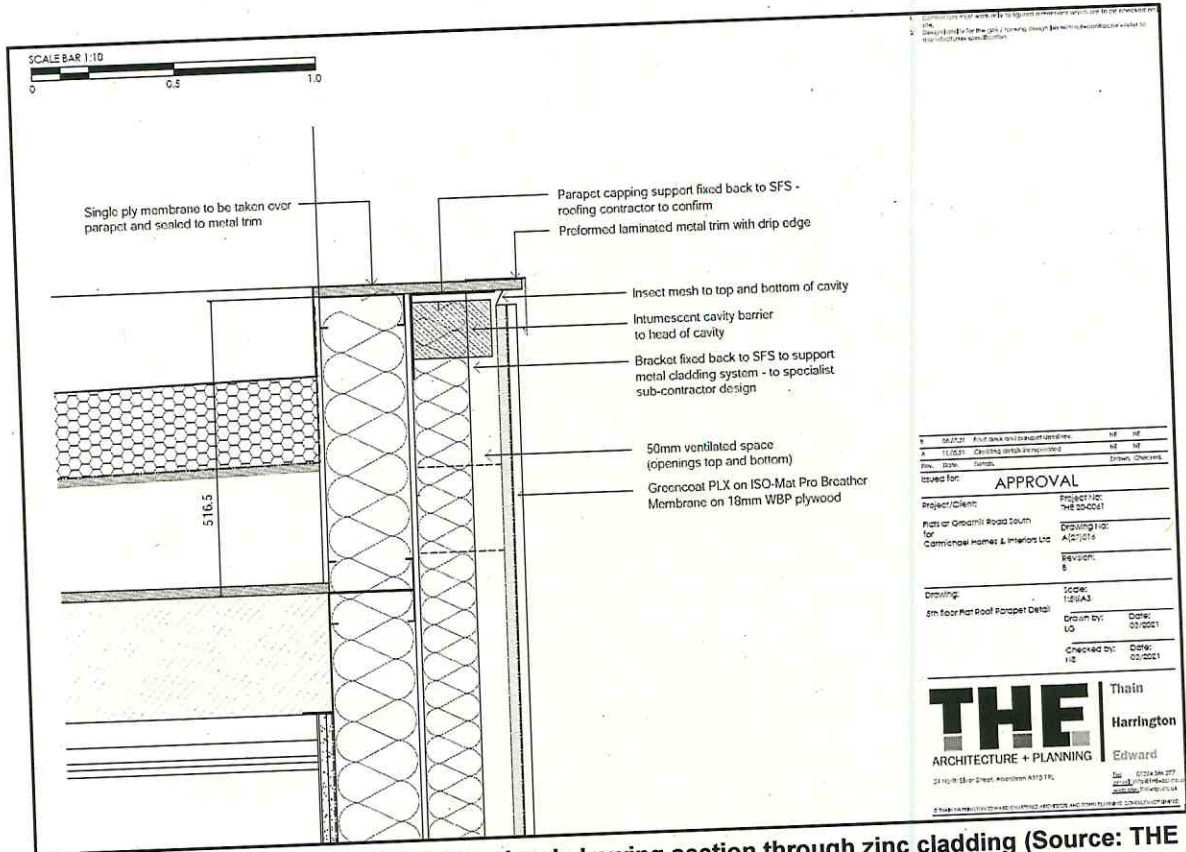


Figure 4: Typical wall detail at fifth floor level showing section through zinc cladding (Source: THE Architecture & Planning)

3.1.8 A review of the information provided to us by THE Architecture & Planning indicates that cavity barriers have been included within the design of the building.

Several detail drawings show cavity barriers as being present within the design of the building. We would anticipate that these should be located at all compartment lines, around all openings, at all corners and at junctions of walls, floors, ceilings as well as at roof level.

The specification information provided refers to a Fire Engineer's report which we would anticipate includes detailed recommendations in relation to cavity barriers and fire stopping.

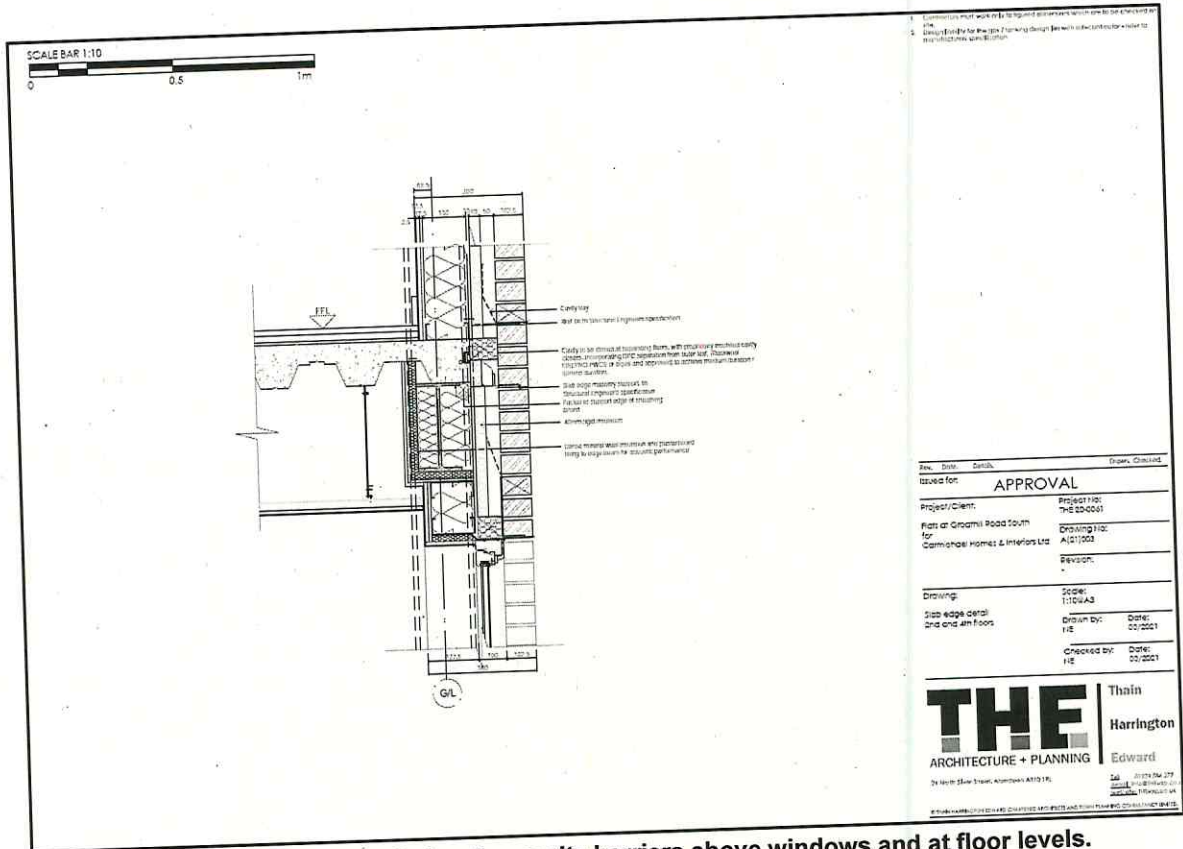


Figure 5: Sectional detail showing cavity barriers above windows and at floor levels.

3.1.9 Balconies are arranged in a vertically stacked configuration and are present throughout and comprise of steel frames with glass balustrades. The decking material is still to be specified.

Similarly terraces at fourth and fifth floor levels have been designed with glazed balustrades but again the decking material has still to be specified.

3.1.10 Windows throughout the development are aluminium clad, timber framed double-glazed units.

3.2 Building Overall Height

The Scottish Advice Note requires all buildings to be assessed irrespective of height. Where materials could be regarded as having an element of combustibility, these require to be assessed in accordance with the guidance.

4.0 SUMMARY AND CONCLUSION

4.1 Summary

- 4.1.1 The external wall structure has been designed using a lightweight steel framing system.
- 4.1.2 The elevations throughout the development will be constructed using the following materials:
- Facing brickwork
 - Zinc standing seam cladding (Top floor only)

- 4.1.3 From the available information, we understand that the development has been designed with the appropriate fire stopping / cavity barriers in situ. The primary means of insulation is a combustible phenolic foam insulation up to and including fourth floor with a non-combustible mineral wool being introduced at fifth floor level. Whilst the use of a combustible insulation is a concern, the material is effectively encapsulated within the structure and as such represents a low risk in terms of fire.

The vertically stacked balconies to the property will pose a high risk should timber boards be specified as the decking material in these areas, additionally, a similar risk could be posed by timber decking to the terraced areas. In this instance early consideration should be given to the use of a non-combustible product in these areas i.e., non-combustible A2 rated or above (To BS EN 13501:1) aluminium decking boards or similar.

4.2 Conclusion

The properties have been designed to comply with the prevailing Building Regulations at the time of construction and a Building Warrant has been granted by Edinburgh City Council. We assume that the Design Team will be monitoring the Contractors worked to ensure compliance with the original design and that a Completion Certificate will be issued to reflect this.

Having considered the initial information provided by the Design Team we can conclude that the external walls on this development are constructed utilising techniques that **would** comply with the Scottish Government Guidance, provided that our recommendation of non-combustible decking is implemented then External Wall Assessment documentation, could be provided upon completion of the development.



We trust this report meets your requirements and if any further information is required, please contact our Mr. Simon Roberts.

Simon Roberts MRICS
Chartered Building Surveyor for
Diamond & Company (Scotland) Ltd, Chartered Building Surveyors

Email: simon@diamondandco.net



APPENDIX A – Statutory Consent Information

Statutory Consent Information

The below table lists all Planning Applications and Building Warrants relating to the property as detailed on Edinburgh City Council's Planning Portal.

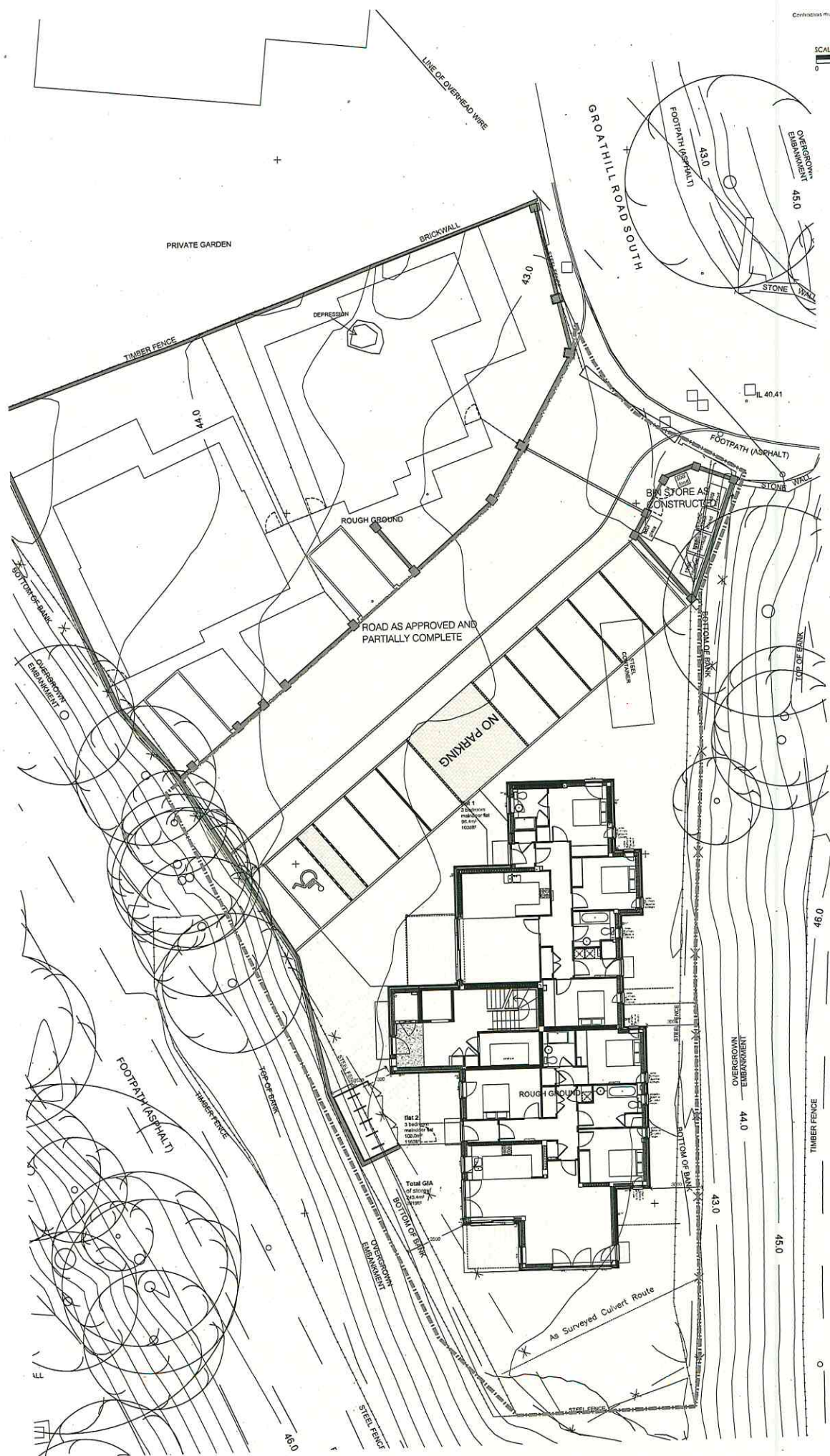
Property Address	Application Type	Application No.	Description
Land 30 Metres South Of 31 Groathill Road South Edinburgh	Planning	14/00026/FUL	14/00026/FUL Erect 9 flats and 1 detached house on site previously used for housing (as amended) Land 30 Metres South Of 31 Groathill Road South Edinburgh
	Planning	19/01333/FUL	Application to amend the design of the consented and commenced development of 9 flats on the site at the south end of Groathill Road South, Edinburgh (planning ref 14/00026/FUL). The proposal aims to provide further amenities to the penthouse apartment through the addition of a room to the roof. Land 30 Metres South Of 31 Groathill Road South Edinburgh
	Planning	20/05478/FUL	Amend the design of the consented and commenced development of flatted building (14/00026/FUL and 19/01333/FUL) to split the penthouse apartment into two flats to create one additional unit, extension to 5th floor and alterations to building elevations. Land 30 Metres South Of 31 Groathill Road South Edinburgh
	Building Warrant	16/04033/WARR	Erect block of 9 flats on land south of 31 Groathill Road South. STAGE A Warrant Application - Underground Drainage, Roads & External Works. (Future Stages to cover substructure and superstructure.) Land 30 Metres South Of 31 Groathill Road South Edinburgh



	Building Warrant	16/04033/WARR/ 1	Erect block of 9 flats on land south of 31 Groathill Road South. STAGE B Warrant Application - Sub-structure, Foundations and Ground Floor Slab. (Previous Stage A Application covered drainage and landscaping. Future Stage C application to cover superstructure.) FORM Q REQUIRED. Land 30 Metres South Of 31 Groathill Road South Edinburgh
	Building Warrant	16/04033/WARR/ 2	This application covers Stage C - Superstructure Future stage submissions to cover structural design of SFS, glazing, handrails and balustrades following design by specialist subcontractors / suppliers as can longer be SER certificate Form Q items under revised SER system. Land 30 Metres South Of 31 Groathill Road South Edinburgh



APPENDIX B – THE Architecture & Planning Drawings



INFORMATION	
Project Name:	Roth of Groat Hill Road South for Carricholm Homes & Interiors Ltd
Project No.:	14-0100
Drawing No.:	11/0010
Revision:	
Drawn by:	NE
Checked by:	DA
Scale:	1:100
Proposed Site Plan:	11/0010
Date:	11/0010

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ARCHITECTURE + PLANNING | Edward

3 Sun Accord Crescent, Aberdeen, AB11 1RN Tel: 01224 594 277
 Email: info@theap.co.uk
 Web: www.theap.co.uk

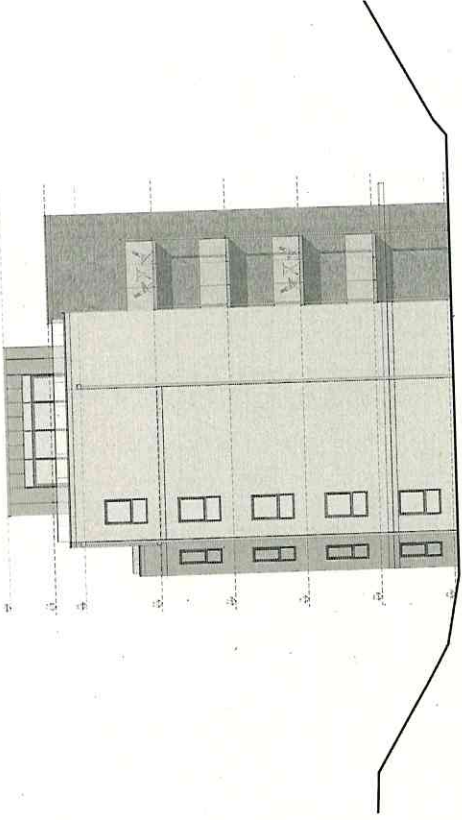
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Construction of walls with dry wall and gypsum board shall be as indicated on

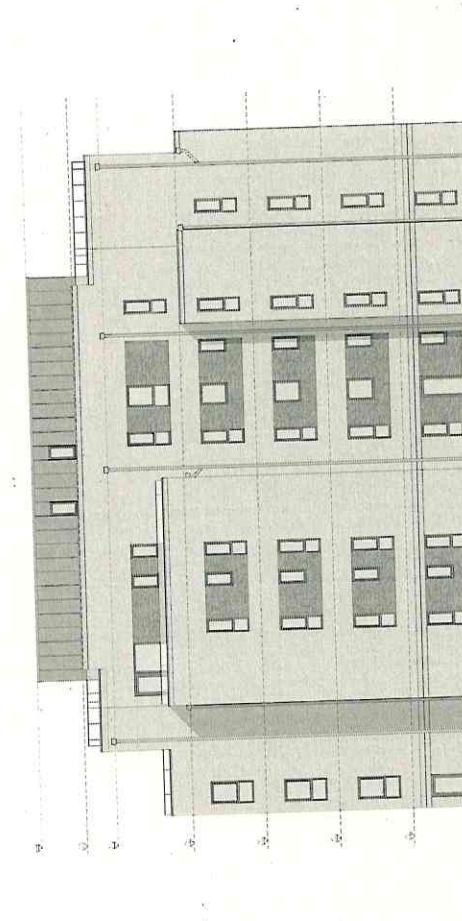


MATERIAL FINISHES

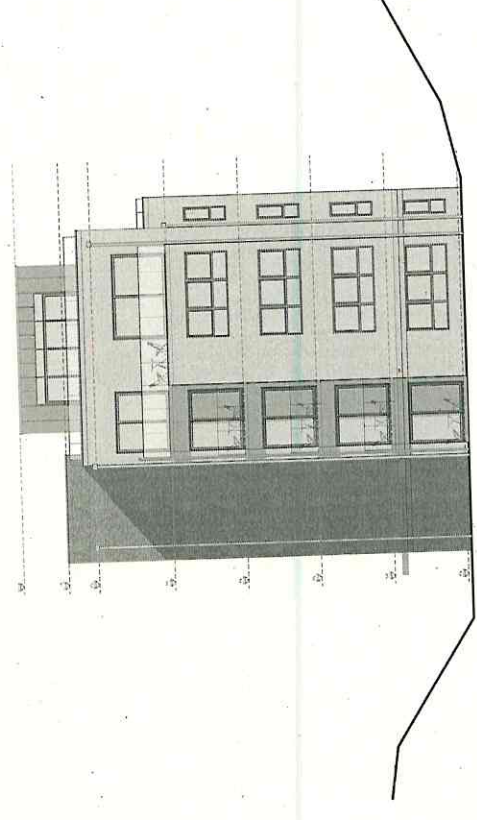
- WALLS GENERALLY FINISH BRICK (LIGHT OR DARK) EXCEPT WHERE NOTED OTHERWISE
- WALLS TO 5TH FLOOR ONLY - FINISH CLADDING (GREEN) WITH GLASS BALCONIES PAINTED AND PAINTED (GREEN) WITH GLASS BALCONIES
- RAINWATER GOODS - UPVC (GREEN)
- FLOORINGS - SINGLE LEVEL FLOORS WITH FINISHING TO BE DETERMINED



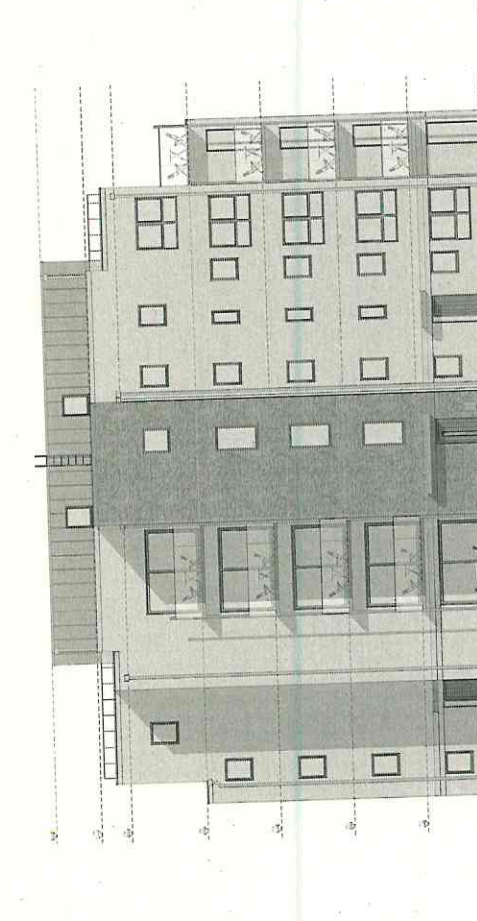
PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION

PLANNING	
PROJECT NO.	14-12
REVISION	15-12
DATE	16-12
BY	17-12
FOR	18-12
APPROVED BY	19-12
DATE	20-12
BY	21-12
FOR	22-12
APPROVED BY	23-12
DATE	24-12
BY	25-12
FOR	26-12
APPROVED BY	27-12
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DATE	27-15
BY	28-15
FOR	29-15
APPROVED BY	30-15
DATE	31-15

PLANNING

Project Name: [Blank]

Client: [Blank]

Site: [Blank]

Location: [Blank]

Scale: [Blank]

Drawn By: [Blank]

Checked By: [Blank]

Date: [Blank]

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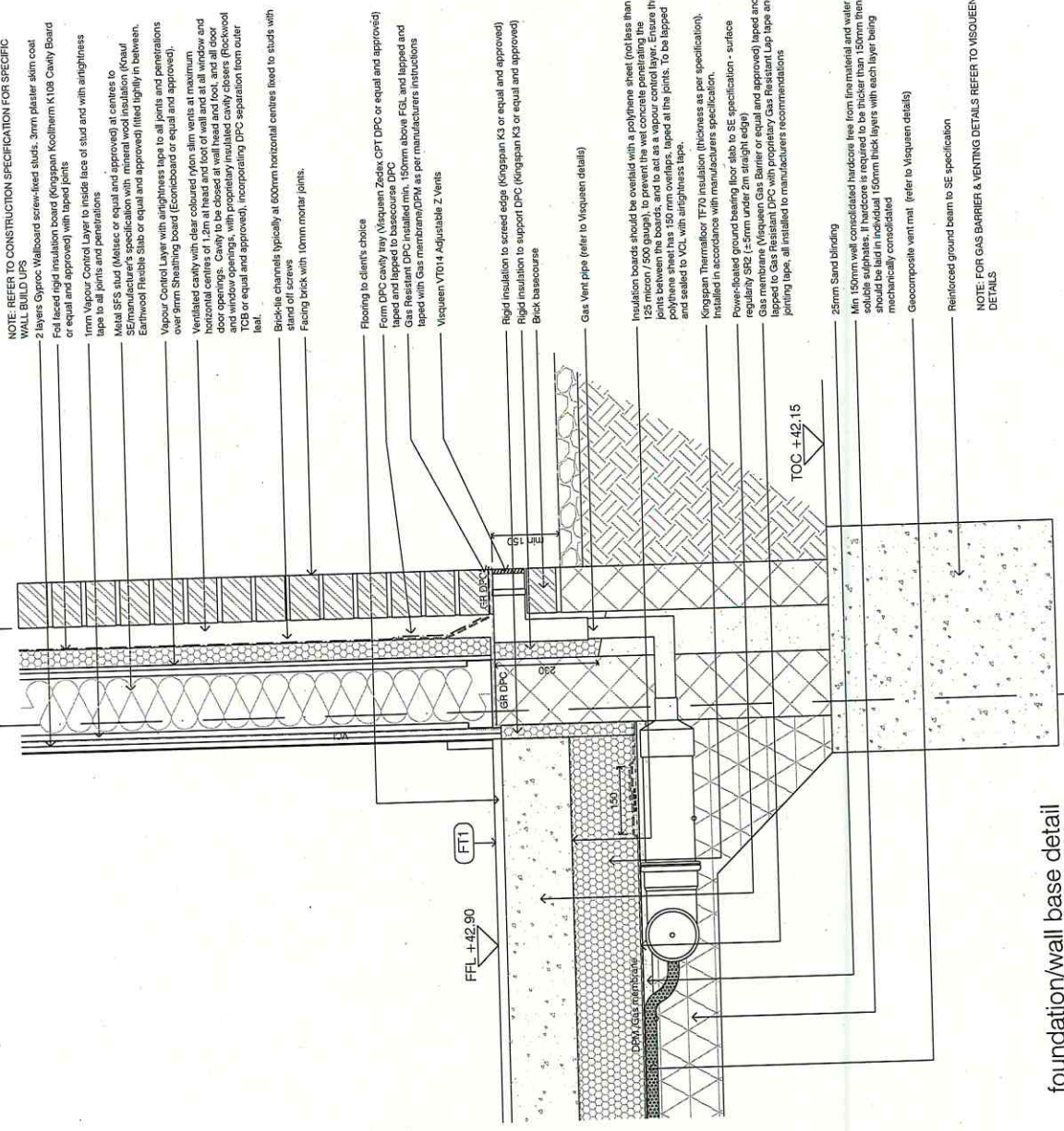
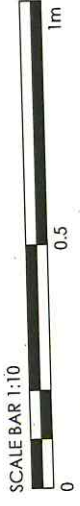
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1300 KALAMAZOO COURT, ANN ARBOR, MI 48106

TEL: 734.769.1100

WWW.THEARCHITECTURE.COM

1. Contractor must work only to figured dimensions which are to be checked on site.
2. Design liability for the gas / tanking design lies with sub-contractor - refer to manufacturers specification



NOTE: REFER TO CONSTRUCTION SPECIFICATION FOR SPECIFIC WALL BUILD UPS

- 2 layers Gyproc Wallboard screw-fixed studs, 3mm plaster skim coat
- Foil faced rigid insulation board (Kingspan Kooltherm K108 Cavity Board or equal and approved) with taped joints
- 1mm Vapour Control Layer to inside face of stud area with airtightness tape to all joints and penetrations
- Metal SFS stud (Metallic or equal and approved) at centres to SE/manufacturer's specification with minimum 100mm insulation (foam Earthwool Flexible slab or equal and approved) fitted tightly in between, over 9mm Sheathing board (Econiboard or equal and approved).
- Vapour Control Layer with airtightness tape to all joints and penetrations horizontal centres of 1.2m at head and foot of wall and at all window and door openings. Cavity to be closed at wall head and foot with airtightness tape with staggered joints, incorporating DPC separation from outer leaf.
- Brick-ile chamfered typically at 600mm horizontal centres fixed to studs with stand off screws
- Facing brick with 10mm mortar joints
- Flooring to client's choice
- Form DPC cavity tray (Visqueen Zedax CPT DPC or equal and approved) taped and lapped to basecourse DPC
- Gas Resistant DPC installed min. 150mm above FGL and lapped and taped with Gas membrane/DPM as per manufacturers instructions
- Visqueen YTD14 Adjustable Z Vents
- Rigid insulation to screed edges (Kingspan K3 or equal and approved)
- Rigid insulation to support DPC (Kingspan K3 or equal and approved)
- Brick basecourse
- Gas Vent pipe (refer to Visqueen details)
- Insulation boards should be overlaid with a polythene sheet (not less than 125 micron / 500 gauge), to prevent the wet concrete penetrating the joints between the boards, and to act as a vapour barrier. The polythene sheet has 150mm overlap at joints and is taped at the joints. To be lapped and sealed to VOC, with airtightness tape.
- Kingspan Thermalbor TF70 insulation (thickness as per specification). Installed in accordance with manufacturers specification.
- Power-laid ground bearing floor slab to SE specification - surface regularly SR2 (5-5mm under 2m straight edge)
- Gas membrane (Visqueen Gas Barrier or equal and approved) taped and lapped to Gas Resistant DPC with staggered joints, incorporating DPC separation from outer leaf, all installed to manufacturers recommendations.
- 25mm Sand blinding
- Min 150mm wall consolidated hardcore free from fine material and water soluble sulphates. If hardcore is required to be thicker than 150mm then it should be laid in individual 150mm thick layers with each layer being mechanically consolidated
- Geocomposite vent mat (refer to Visqueen details)
- Reinforced ground beam to SE specification

NOTE: FOR GAS BARRIER & VENTING DETAILS REFER TO VISQUEEN DETAILS

foundation/wall base detail (SFS)

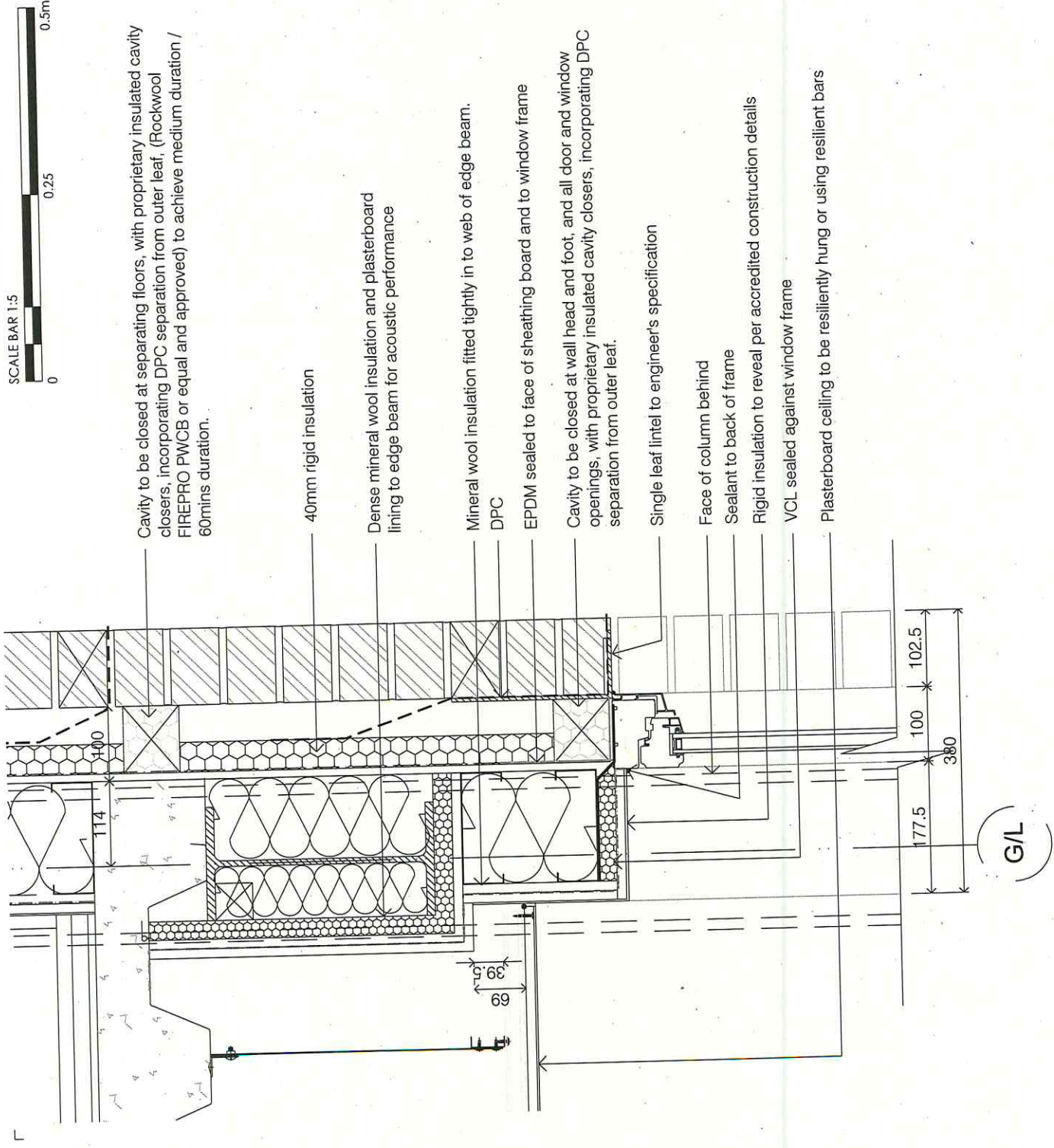
Rev.	Date	Detail	Drawn	Checked
CONSTRUCTION				
Issued for:				
Project No: THE 20-0061				
Drawing No: A116001				
for Carmichael Homes & Interiors Ltd				
Revision:				
Scale: 1:10@A3				
Drawing: SFS External Wall Detail				
Drawn by: NE				
Date: 01/2021				
Checked by: NE				
Date: 01/2021				

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1. Contractor must work only to figured dimensions which are to be checked on site.



Cavity to be closed at separating floors, with proprietary insulated cavity closers, incorporating DPC separation from outer leaf. (Rockwool FIREPRO PWCB or equal and approved) to achieve medium duration / 60mins duration.

40mm rigid insulation

Dense mineral wool insulation and plasterboard lining to edge beam for acoustic performance

Mineral wool insulation fitted tightly in to web of edge beam. DPC

EPDM sealed to face of sheathing board and to window frame

Cavity to be closed at wall head and foot, and all door and window openings, with proprietary insulated cavity closers, incorporating DPC separation from outer leaf.

Single leaf lintel to engineer's specification

Face of column behind

Sealant to back of frame

Rigid insulation to reveal per accredited construction details

VCL sealed against window frame

Plasterboard ceiling to be resiliently hung or using resilient bars

Rev. A	19.02.21	Revised per feedback from window manufacturer	NE
	Date:	Drawn:	Checked:
		NE	NE
CONSTRUCTION			
Project/Client:		Project No: THE 20-0061	
Flats at Groat Hill Road South		Drawing No: A(13)1002	
for Carmichael Homes & Interiors Ltd		Revision: A	
Drawing:		Scale: 1:5@A3	
Typical Window Head Detail		Drawn by: NE	
		Date: 01/2021	
		Checked by: NE	
		Date: 01/2021	

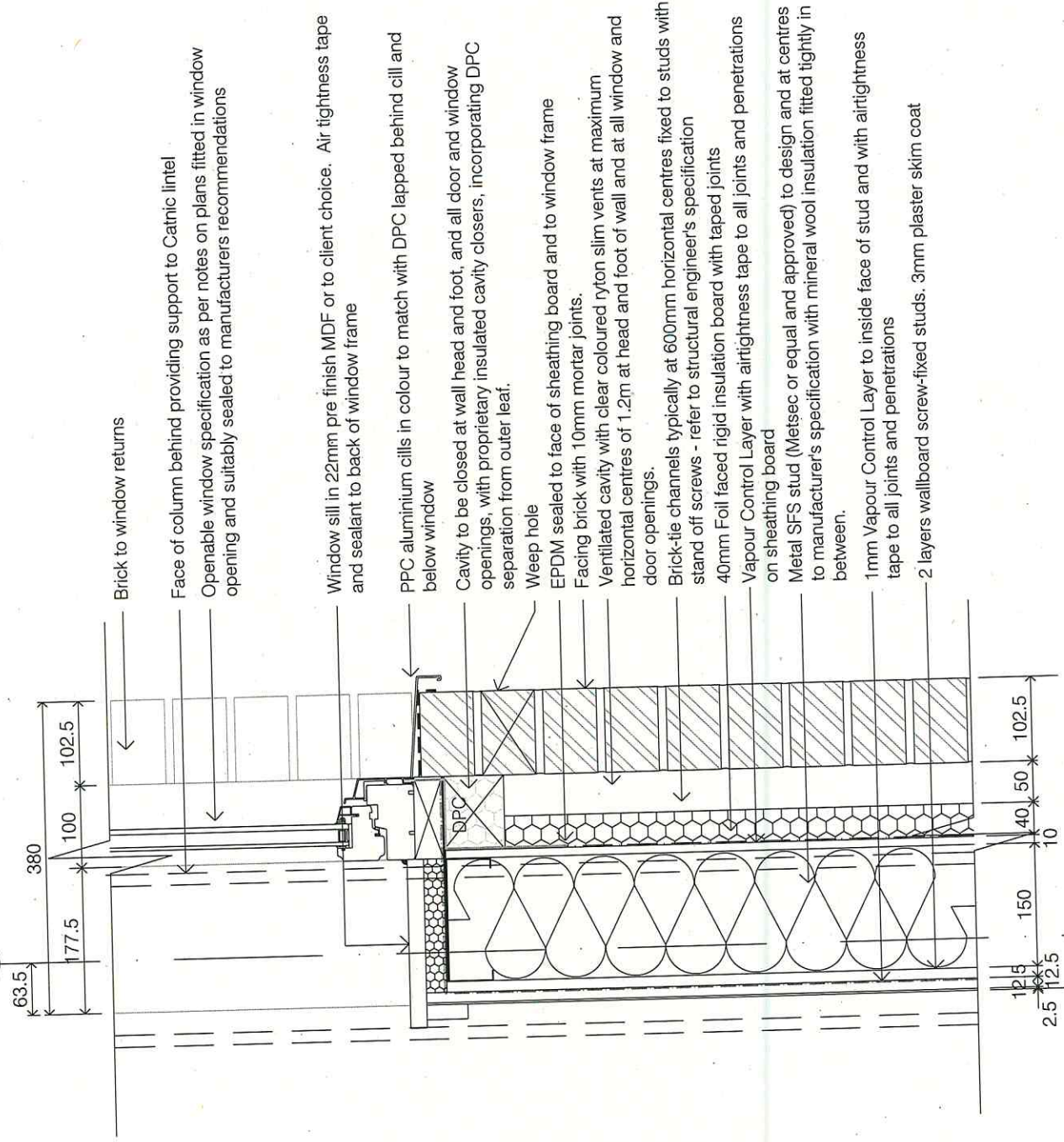
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1. Contractors must work only to figured dimensions which are to be checked on site.



- Brick to window returns
- Face of column behind providing support to Catnic lintel
- Operable window specification as per notes on plans fitted in window opening and suitably sealed to manufacturers recommendations
- Window sill in 22mm pre finish MDF or to client choice. Air tightness tape and sealant to back of window frame
- PPC aluminium cills in colour to match with DPC lapped behind cill and below window
- Cavity to be closed at wall head and foot, and all door and window openings, with proprietary insulated cavity closers, incorporating DPC separation from outer leaf.
- Weep hole
- EPDM sealed to face of sheathing board and to window frame
- Facing brick with 10mm mortar joints.
- Ventilated cavity with clear coloured nylon slim vents at maximum horizontal centres of 1.2m at head and foot of wall and at all window and door openings.
- Brick-tie channels typically at 600mm horizontal centres fixed to studs with stand off screws - refer to structural engineer's specification
- 40mm Foil faced rigid insulation board with taped joints
- Vapour Control Layer with airtightness tape to all joints and penetrations on sheathing board
- Metal SFS stud (Metsec or equal and approved) to design and at centres to manufacturer's specification with mineral wool insulation fitted tightly in between.
- 1mm Vapour Control Layer to inside face of stud and with airtightness tape to all joints and penetrations
- 2 layers wallboard screw-fixed studs. 3mm plaster skim coat

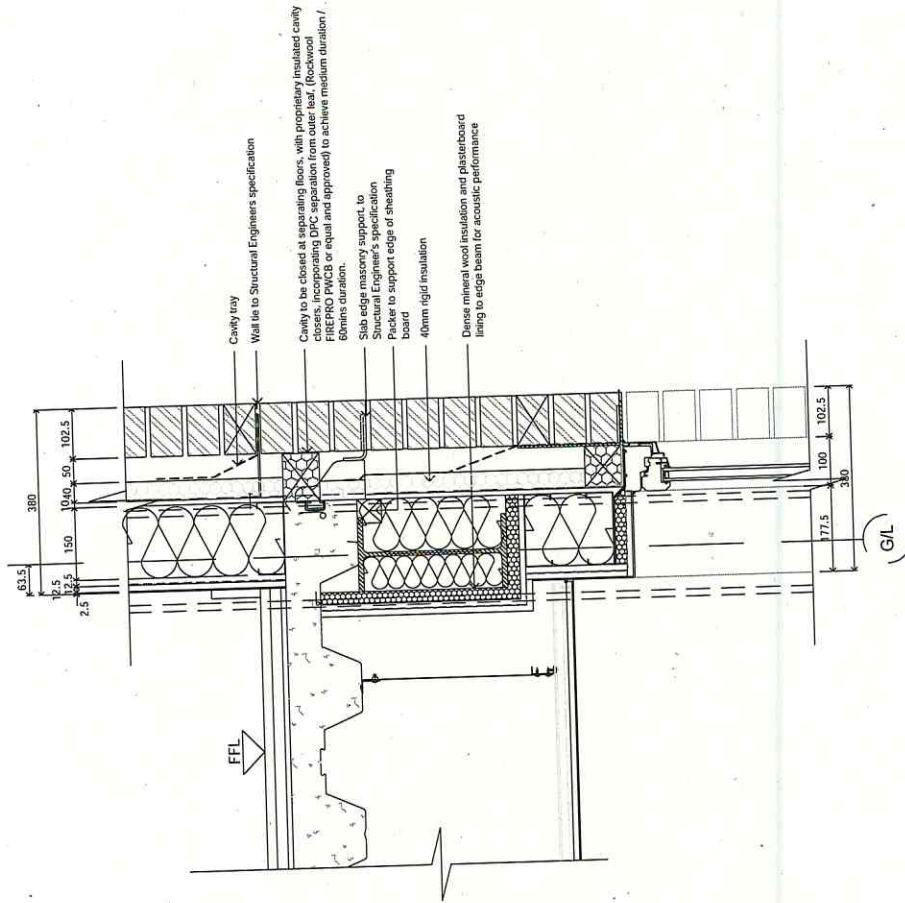
Rev.	Date:	19/02/21	Revised per feedback from window manufacturer	NE
	Drawn:		Checked:	
CONSTRUCTION				
Project/Client:		Project No: THE 20-0041		
Flats at Groat Hill Road South for Carmichael Homes & Interiors Ltd		Drawing No: A(3)1003		
Revision:		Revision: A		
Drawing:		Scale: 1:5@A3		
Typical Window Cill Detail		Drawn by: NE		
		Date: 01/2021		
		Checked by: NE		
		Date: 01/2021		

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- Contractors must work only to figured dimensions which are to be checked on site.
- Design liability for the gas / tanking design lies with sub-contractor - refer to manufacturers specification.



Rev. Date: Details: Drawn: Checked:

Issued for: **APPROVAL**

Project/Client: THE 20-0061

Flats at Groathill Road South
for
Carmichael Homes & Interiors Ltd

Drawing No: A(2)1003

Revision:

Drawing: Scale: 1:10@A3

Slab edge detail
2nd and 4th floors

Date: 03/2021
Drawn by: NE

Date: 03/2021
Checked by: NE

THE Thain
Harrington
Edwards

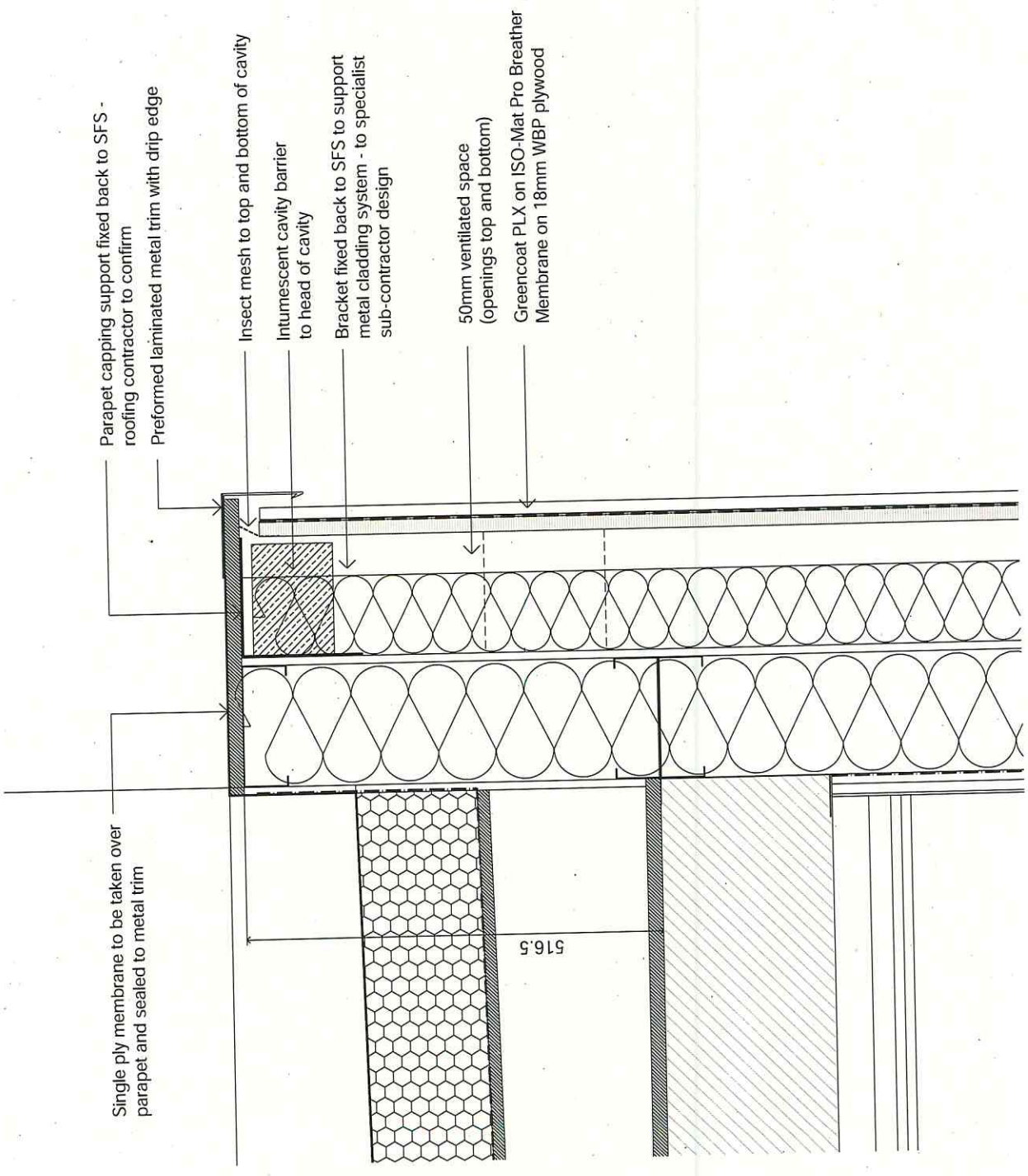
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- Contractor must work only to figured dimensions which are to be checked on site.
- Design liability for the gear / tanking design lies with sub-contractor - refer to manufacturer's specification



Rev.	Date	Detail:	Drawn	Checked
B	08/07/21	Roof deck and parapet detail rev.	NE	NE
A	11/05/21	Cladding details incorporated	NE	NE

Issued for: **APPROVAL**

Project/Client: THE 20-0061

Flats at Groat Hill Road South
for Carmichael Homes & Interiors Ltd

Drawing No: A(27)01/6

Revision: B

Drawing: 5th floor Flat Roof Parapet Detail

Scale: 1:5@A3

Drawn by: LG

Date: 03/2021

Checked by: NE

Date: 03/2021

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