

David Blaikie Architects
10 Deanhaugh Street
Edinburgh
EH4 1LY

Date 6 October 2020

Your Ref

Our Ref 16/04033/WARR

Dear Sir(s)/Madam

**APPLICATION TO EXTEND THE DURATION OF A BUILDING WARRANT
THE BUILDING (PROCEDURE)(SCOTLAND) REGULATIONS 1984 as amended
LOCATION: Land 30 Metres South Of 31 Groathill Road South Edinburgh
BUILDING WARRANT REF NO: 16/04033/WARR
DATE GRANTED: 9 October 2017**

I refer to your recent letter and would inform you that the Director of Place has agreed to extend the duration of the Building Warrant to 6 July 2021.

Please email planningandbuildingstandards.support@edinburgh.gov.uk or phone 0131 529 3550 if you require further advice.

Yours faithfully

Carole Arnott

Transactions Team Manager

Planning and Transport, Place

G2 Waverley Court, 4 East Market Street, Edinburgh EH8 8BG
Tel 0131 529 3550

planningandbuildingstandards.support@edinburgh.gov.uk

• EDINBURGH •

THE CITY OF EDINBURGH COUNCIL

Planning & Building Standards
PLACE

BUILDING WARRANT

Building (Scotland) Act 2003

Warrant under section 9 for work subject to building regulations.

This warrant is granted by The City of Edinburgh Council in connection with the application by 7 Cottage Park dated 17 October 2016 for the work at Land 30 Metres South Of 31, Groathill Road South, Edinburgh, , as detailed in the approved plans and associated documentation.

The reference number of this building warrant is - 16/04033/WARR

Conditions

The following condition(s) apply:

[if the application is for the construction (erection, alteration or extension) of a building]

that the work will be carried out as described in the building warrant and in accordance with building regulations and that nothing in any drawing, specification or other information submitted with the application indicates that the building when constructed will fail to comply with building regulations.

Continuing requirements

The following continuing requirement(s) appl(y)(ies):-

The building shall not be occupied until either the granting of subsequent building warrant(s) for any remaining fit-out(s) and the acceptance of the appropriate Completion Certificate(s) or an authorisation of Temporary Occupation of Use by a verifier

Security matters

No details or documents are included in this section in this case.

Please refer to the "Notes" overleaf, notes 4 and 5, the "Important notice" and the "WARNING" apply in this case.

A copy of the agreed plan(s) is/are returned

Signed

Dated 9 October 2017



PAUL LAWRENCE
Executive Director of Place
For and on behalf of The City of Edinburgh Council

Notes

1. to be considered as a limited-life building expiry must not be more than 5 years from the relevant date, which is the date of notification of acceptance of the completion certificate for the work, or the date of any permission for the temporary occupation or use of the building before acceptance of the completion certificate.

2. for construction, the stages specified in the procedure regulations are -

a) construction of foundations, or

b) such other stages as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers

3. for demolition, the stages specified in the procedure regulations are -

a) isolation and removal of services, fixtures and fittings,

b) isolation and protection of adjacent structures, or

c) such other stages, appropriate to the method of demolition, as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers.

4. The verifier must be notified

A* of the date on which work is commenced within 7 days of such date,

B* when any drain has been laid and is ready for inspection or test (unless this work is covered by a certificate of construction),

C* when a drain track has been in-filled and the drainage system is ready for a second inspection or test (unless this work is covered by a certificate of construction),

D* of the date of completion of such other stages as the verifier may require, and

E* of the intention to use an approved certifier of construction.

*How to notify - A, D & E above must be in writing. B & C can be by telephone, or by email or in writing.

5. It should be noted that where the owner is not the applicant, then the verifier will notify the owner of the grant of the building warrant as is required in terms of section 9(7)(b) of the Building (Scotland) Act 2003.

Important notice

This building warrant is valid for 3 years. A Completion Certificate must be submitted when the work is complete. If a completion certificate is not submitted within that period an extension of building warrant must be obtained before the expiry date.

WARNING

A building warrant does not exempt you from obtaining other types of permission that may be necessary, such as planning permission or listed building consent. Consult the local authority if in doubt.

It is an offence to use or occupy the building(s) before obtaining acceptance of a completion certificate, unless the work is alteration only. Permission for temporary occupation may be requested from the verifier.

David Blaikie
10 Deanhaugh Street,
Edinburgh,
EH4 1LY,

Date 9 October 2017

Your Ref

Our Ref P&BS/BS/NW/
16/04033/WARR/GGI
L/CCNPLAG

Dear Sir(s)/Madam,
APPROVAL OF BUILDING WARRANT
Address: Land 30 Metres South Of 31, Groathill Road South, Edinburgh,

This letter is to inform you that a building warrant for your client's project was granted on 9 October 2017. Your client is now legally entitled to undertake the work covered by the warrant in accordance with plans submitted with their application. The building warrant document together with a set of approved plans are enclosed and I have written to your client to advise them of this.

In order that Building Standards can make 'reasonable inquiry' that the completed work is in compliance with the regulations and approved plans prior to accepting a completion certificate submission from your client for the work, a Building Standards Surveyor may inspect the work periodically during construction. The timing and frequency of these visits varies according to the type of project, its size and complexity. It is therefore vital that your client's contractor contacts Building Standards to discuss the inspection programme for your client's project at the earliest opportunity.

To improve the consistency and effectiveness of the 'reasonable Inquiry' process in Scotland, all Building Standards verifying authorities are required to issue a Construction Compliance & Notification Plan (CCNP) with every building warrant granted. Please find enclosed the CCNP for your client's project with this letter.

The Construction Compliance & Notification Plan is an **important document**. It specifies elements of the construction that the Building Standards Surveyor appointed to your client's project would like to see prior to being covered over or otherwise made inaccessible to view. If any of the elements referred to in the CCNP are covered over prior to notification and inspection then Building Standards may ask for the construction to be opened up at a later date. This will inevitably involve undertaking a disruptive survey to reveal the element that may damage finishes applied to the area concerned or require the re-excavation of back-filled trenches.

In order .../

In order that the reasonable inquiry process proceeds as smoothly as possible your client should pass both this letter and the CCNP to their contractor as soon as possible. Please ensure that you pass the enclosed Building Warrant document and the Construction Compliance & Notification Plan to your client.

Your client's contractor will, in scheduling the work, have programmed various activities to occur in an orderly sequence and at pre-determined times. It is important, therefore, that the required inspection stages outlined in the CCNP are incorporated in your client's contractor's schedule of work. The Building Standards Surveyor, except in exceptional circumstances, will require a minimum of 3 working days notice before the inspection is required. In addition, your client's contractor should be made aware that Building Standards Surveyors work to a set working pattern in accommodating their plan assessment and site inspection duties. The work pattern for Gary Gilruth the Building Standards Surveyor for your project is given below. As a general rule, site inspection activities will be confined to the site days indicated. Contact your Surveyor during his "Office days"

Please note that unless photographic evidence is specifically noted on the CCNP as being an acceptable means of demonstrating compliance, it will not be considered adequate in lieu of a site inspection. If by prior agreement photographic evidence is considered appropriate, your contractor should discuss the issue with the Building Standards Surveyor prior to taking and submitting any photographs. You should note that there are strict limitations on the use of photographs including what requires to be demonstrated in the photographs if these are to be used in lieu of a site inspection. Please refer to the reverse of the Important Guidance Note enclosed with this letter.

Please note that while verifying authorities are required to take reasonable steps to ensure constructed work complies with the regulations, it is the responsibility of the 'relevant person', usually the applicant, to ensure that compliance is achieved. Building Standards does not supervise the work or inspect all aspects of its construction. If your client requires to be assured on aspects of workmanship, they should discuss the issue of site supervision or regular inspection with you or other appropriate agent to act on their behalf in this advisory capacity.

In closing, I would finally take this opportunity to emphasise the need for your client's co-operation in making their project a success and one which enables them as the 'relevant person' to be satisfied that it complies with Building Regulations and the approved plans.

If telephoning or calling in person please ask for Gary Gilruth on 0131 529 4869 whose working pattern is as follows:

Yours faithfully

Gary Gilruth

Gary Gilruth
Building Standards Surveyor

Finally, we would be grateful if you could take the time to complete our exit survey on building warrants: <https://www.surveymonkey.co.uk/r/warrantfeedback> We want to know how you think we are doing. We will act on the feedback we receive to make improvements to our Building Standards Service.

IMPORTANT GUIDANCE NOTE

This note is for the guidance of the applicant for a building warrant, his/her agent and any contractors involved in carrying out work in terms of a Building Warrant applied for on or after 1 October 2012.

It was made clear in The Building (Scotland) Act 2003 that the responsibility for ensuring that building works complied with national building regulations lies with the "relevant person" (usually **the applicant**)

The way in which the Building Standards Service is to be delivered from 1 October 2012 has changed.

- From 1 October 2012 an applicant for a building warrant is required to contact Building Standards of the Council at important stages of the construction to enable inspection or other suitable means of verifying that the works comply with building regulations.
- Every Building Warrant applicant will be sent a Construction Compliance & Notification Plan (CCNP). This CCNP **IS VERY IMPORTANT** and will outline what stages of construction that Building Standards want to inspect(*) prior to certain construction items or details being covered up or otherwise made inaccessible to view. The CCNP should be given to the applicant's contractor to enable him to schedule inspections by the appointed Building Standards Surveyor of the Council.

(*) – In certain circumstances outlined in the attached Construction Compliance & Notification Plan (CCNP) the Building Standards Surveyor of the Council may have specified in the CCNP that he would accept photographic evidence of certain constructional items being taken prior to being covered up or otherwise made inaccessible to view.

PLEASE SEE THE RULES FOR ACCEPTANCE OF PHOTOGRAPHS ON THE REAR OF THIS GUIDANCE. THE BUILDING STANDARDS SURVEYOR OF THE COUNCIL HAS THE FINAL SAY IN THE SUITABILITY OF ANY PHOTOGRAPHS SUBMITTED IN THIS WAY.

- The timing and frequency of these visits varies according to the type of project, its size and complexity. It is therefore vital that your contractor contacts Building Standards to discuss the inspection programme for your project at the earliest opportunity.
- **PLEASE NOTE THAT FAILURE TO NOTIFY THE COUNCIL AT THE REQUIRED TIME MAY RESULT IN A DISRUPTIVE INSPECTION BEING REQUIRED. THIS COULD RESULT IN WALL, FLOOR OR CEILING FINISHES BEING DAMAGED, THE COST OF WHICH WILL BE BORNE BY THE RELEVANT PERSON IN TERMS OF THE ABOVE ACT.**
- Building Standards Surveyors require a minimum of 3 working days notice to respond to a request for an inspection. You should ensure that in scheduling the work programme on site you also factor visits into the schedule from the Building Standards Surveyor.

Photographs .../

Photographs

Appropriate photographs can be accepted by Building Standards staff to aid the process of "reasonable inquiry" in the acceptance of Completion Certificates.

PLEASE NOTE THAT PHOTOGRAPHS WILL ONLY BE ACCEPTED IF THE "CONSTRUCTION COMPLIANCE PLAN" FOR YOUR PROJECT HAS SPECIFIED THAT PHOTOGRAPHIC EVIDENCE CAN BE USED IN RESPECT OF THE SUBJECT MATTER. THE BUILDING STANDARDS SURVEYOR OF THE COUNCIL HAS THE FINAL SAY IN THE SUITABILITY OF ANY PHOTOGRAPHS SUBMITTED IN THIS WAY.

Photographs can be used to:-

- Demonstrate compliance with approved drawings or the Building Regulations
- Demonstrate that a particular design feature has been fully complied with
- Clarify construction of a particular element of a building
- Demonstrate the dimension of a particular element or material
- Demonstrate the structural details of a particular construction

Photographs or any accompanying information accepted should:-

- Give clear indication as to the date the photograph was taken
- Give clear indication as to the subject matter
- If used to indicate a measurement, give conclusive evidence of the measurement in question. For example this may be by having a tape measure as part of the photograph
- Give clear and unambiguous indication of the construction, structural elements, or materials used
- Contain in the photograph a clear indication of the location of the subject of the photograph(s) and where the photograph(s) was (were) taken from.

If there is any doubt about the use of photographs then prior to any constructional items being closed up or otherwise made inaccessible to view the Building Standards Surveyor for the project should be consulted and agreement reached with him/her on their use.

Project Address:	Land 30 Metres South Of 31, Groathill Road South, Edinburgh, ,
Warrant Application Number:	16/04033/WARR
Building Standards Surveyor:	Gary Gilruth
Building Standards Surveyor Contact details	
Phone:	0131 529 4869
e-mail (preferred method of contact):	gary.gilruth@edinburgh.gov.uk
Working pattern:	

Issue date 9 October 2017

Construction Compliance & Notification Plan

This plan has been prepared in order to assist building warrant applicants and their contractors to know when to advise the Council that their building operations have reached an important stage that requires inspection. The Scottish Government require the Council to make "reasonable inquiry" in determining if your work complies with building regulations. Whilst it is the applicant's responsibility to ensure that the works comply with National building regulations, the list below, if followed, will assist the Council in meeting the Government's requirement of making "reasonable inquiry".

This document or a copy must be passed to the applicant's contractor if one is appointed.

This verification process is not a site supervision process. Should this service be required the applicant should engage suitable professional advice.

CONSTRUCTION COMPLIANCE & NOTIFICATION PLAN			
PROJECT DETAILS			
Building address: Land 30 Metres South Of 31, Groathill Road South, Edinburgh, , Plot No: Plot 1			
Building Warrant reference: 16/04033/WARR	Warrant applicant's Name:		
Contact Details of Building Standards Surveyor Name: Gary Gilruth Tel: 0131 529 4869 e-mail: gary.gilruth@edinburgh.gov.uk	Site and office days for contact purposes: Site: Tue, Fri. Office: Mon, Thur		
Key Construction Stages (site visit)	NOTES FOR APPLICANT	APPROPRIATE ALTERNATIVE EVIDENCE (Non-site visit)	FULFILLED
Commencement	Send Notice regarding Start of Work to verifier at least seven days prior to starting on site.		Yes No
Drainage	Drainage to be inspected prior to backfilling the drain trench.		Yes No
Superstructure	All new structural elements and associated fixings and ties to be inspected prior to being concealed from view.		Yes No
Superstructure	Thermal Insulation to be inspected prior to plasterboard or other sheeting material conceals it from view.		Yes No
Completion	Final inspection to be arranged with the Building Standards Surveyor on completion of works.		Yes No

PLEASE NOTE THAT FAILURE TO NOTIFY THE COUNCIL AT THE REQUIRED TIME MAY RESULT IN A DISRUPTIVE INSPECTION BEING REQUIRED. THIS COULD RESULT IN WALL, FLOOR OR CEILING FINISHES BEING DAMAGED, THE COST OF WHICH WILL BE BORNE BY THE RELEVANT PERSON IN TERMS OF THE Building (Scotland) Act 2003.

Notes to Applicant/Developer:

The owner or developer should notify the Verifier at the target key construction stages above, to allow the Verifier to check compliance with Building Regulations. The number and nature of the site inspections may vary according to the type of works being undertaken.

Notification should allow a minimum of three working days notice (except in exceptional circumstances and with prior agreement of the Council) for the Council to respond.

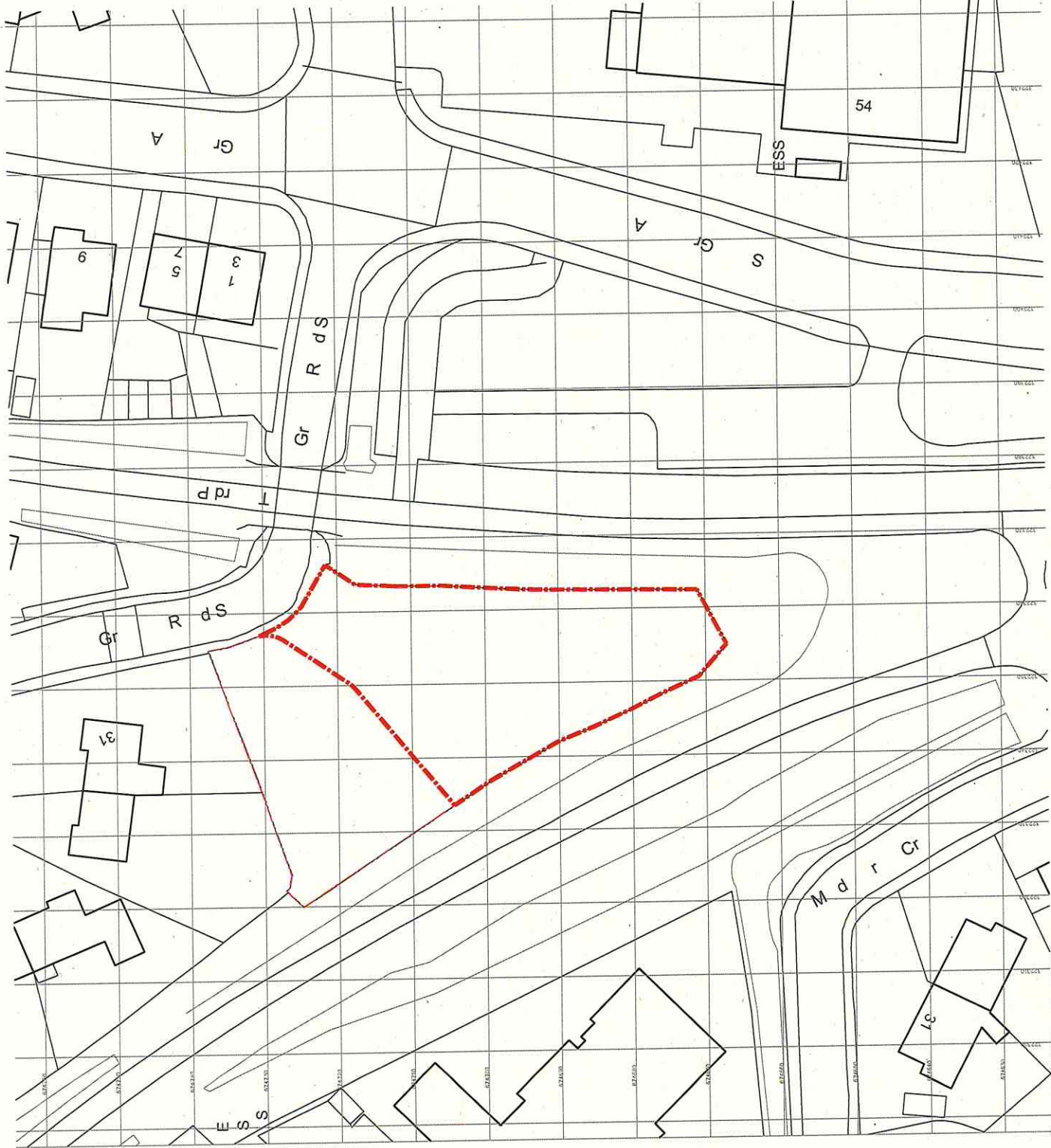
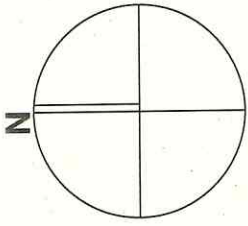
Once the applicant or developer is satisfied the project is complete and complies with Building Regulations, they must sign and submit the Completion Certificate to the Verifier. The submission should also include the additional supporting information required by the Verifier listed below.

Any reference in this document to "Verifier" means The City of Edinburgh Council acting as Verifier in terms of The Building (Scotland) Act 2003.

CHECK LIST OF DOCUMENTS TO SEND TO THE COUNCIL WITH COMPLETION CERTIFICATE – SUBMISSION FORM (Form 5) for Building Warrant reference: 16/04033/WARR - Plot No: Plot 1			
	Applies to:	Required	Received/Checked
Procedure			
Completion Certificate Submission - Form 5		To follow under subsequent stages	
Amendment to Warrant – Form B			
Application to extend Period of Validity of Building Warrant - Form C			
Structure			
SER Form Q			
Fire			
Fire alarm and detector testing and commissioning Certificate			
Emergency lighting testing and commissioning certificate			
Smoke ventilation testing and Commissioning Certificate			
Rising Main Commissioning Certificate			
Intumescent Paint Certificate and proof of purchase			
Sprinkler Commissioning Certificate			
Fire resistance test certificate			
Fire Safety Design Summary			
Environment			
Certificate of Construction (Plumbing/Heating/Drainage)			
Ventilation Commissioning Certificate			
Boiler Commissioning Certificate			
Gas Safety Information			
Un-vented Hot Water Commissioning Certificate			
Lead in water testing Certificate			
Air conditioning Commissioning Certificate			
Safety			
Certificate of Construction (Electrics) or electrical compliance certificate and copy of electrical installers trade card (SELECT or NICEIC)			
Proof of glazing complying with BS 6262-4:2005 (Part 4 of the BS)			
Lift Commissioning Certificate			
Noise			
Noise Test Certification (Housing sites 10% sampling)			
Energy			
Energy Performance Certificate (EPC)			
Proof of Glazing u-Value & proof of purchase			
Air Tightness Test Certificate			

**CHECK LIST OF DOCUMENTS TO SEND TO THE COUNCIL
WITH COMPLETION CERTIFICATE – SUBMISSION FORM (Form 5)
for Building Warrant reference: 16/04033/WARR - Plot No: Plot 1**

	Applies to:	Required	Received/Checked
Sustainability			
Sustainability Label			
Miscellaneous			



davidblairarchitects

project
Flats at Groathill Road South, Edinburgh
for
Beaufort Property Company Ltd

drawing title
site location plan
building warrant
STAGE A - drainage & roads

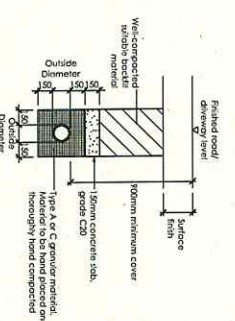
job number: 1310
drawing number: A/501
scale: 1:500
date: October 2016

10 Deanhaugh Street Edinburgh EH4 1LY
T - 0131 332 1133 E - studio@davidblairarchitects.com

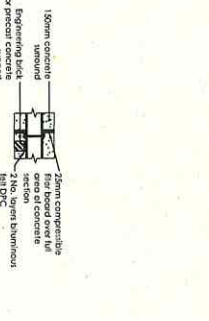
GENERAL NOTES

1. This drawing is to be read in conjunction with all relevant survey and archive drawings together with the design and specification.
2. For drainage types refer to drawings SE463/200A.

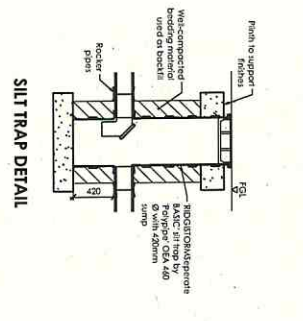
UPVC PIPE BEDDING CLASS 'E'



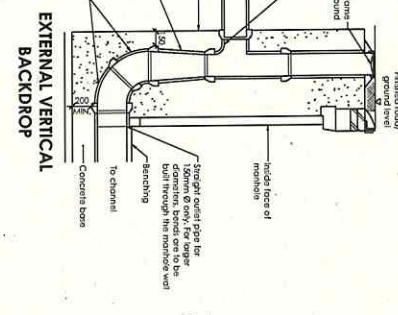
PIPE CONCRETE PROTECTION



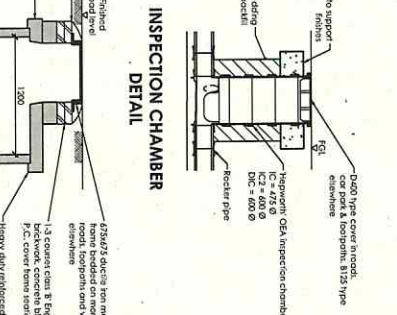
EXPANSION JOINT DETAIL



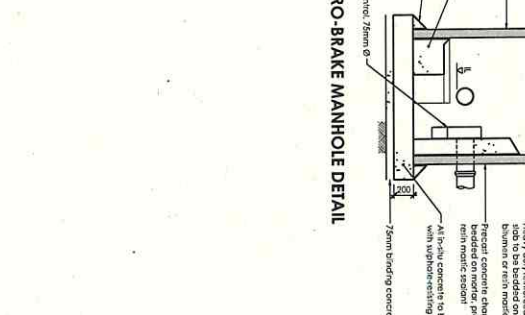
SILT TRAP DETAIL



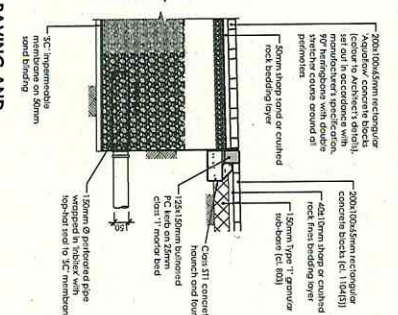
EXTERNAL VERTICAL BACKDROP



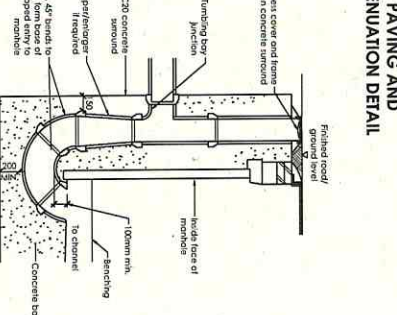
INSPECTION CHAMBER DETAIL



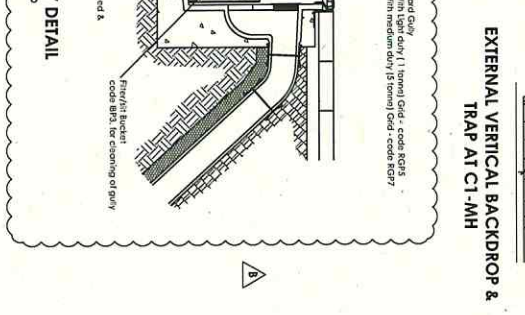
HYDRO-BRAKE MANHOLE DETAIL



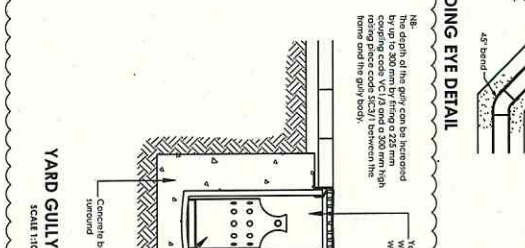
PERMEABLE PAVING AND CELLULAR ATTENUATION DETAIL



EXTERNAL VERTICAL BACKDROP & TRAP AT CI-MH



RODDING EYE DETAIL



YARD GULLY DETAIL

Scale: 1:100	Date: 20/11/20	Sheet: 02/01/1
Drawn: MA	Checked: MA	Scale: 3P
SE463	(9)204	B

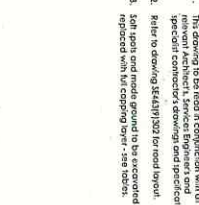
1 RANDOLPH CRESCENT
 EDINBURGH EH3 7TH
 TEL: 0131 225 3007 FAX: 0131 225 3008
 WWW.ACIES.CO.UK

Beoulton Property Co.

Project: Goodhill Road South
 Edinburgh

Drawing: Drainage Details
 Sheet: 1.

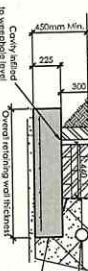
Notes:
 1. The drawing to be read in conjunction with all other drawings and specifications and specific contractor drawings and specifications.
 2. Refer to drawing SE4431/303 for road layout.
 3. Soil depth and levels should be as specified and approved with full carrying over - see notes.



Kerb Foundation Dimensions

- Kerb Notes**
1. Kerb design to comply with BS 7283 part 1.
 2. All kerbs to be defined except kerbs fixed to a road or pavement, and kerbs fixed to a road or pavement, and kerbs to be hydrophobic paved.
 3. Kerbs to be hydrophobic paved.

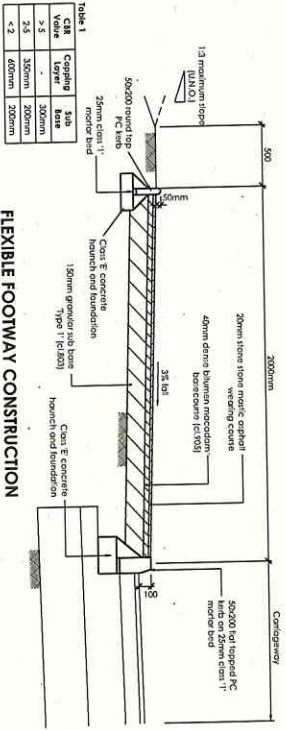
RETAINING WALL



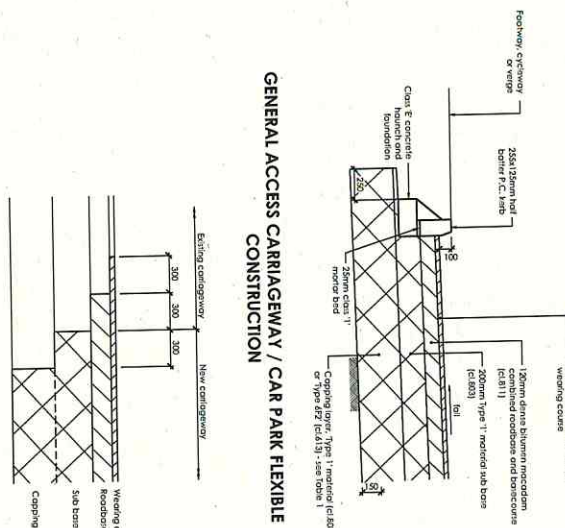
TYPICAL CROSS SECTION

- RETAINING WALL NOTE**
1. Type 2 and dropped to min. 100mm above ground level with a maximum slope of 1:10 (H:V) without setbacks and a maximum height of 1.5m. Any other condition to be approved by the Engineer.
 2. Backfill to be compacted to 95% Proctor density. Foundation formation level to be on sound ground.
 3. Foundation concrete to be grade (GCS) to BS 5328 (20mm maximum aggregate size). Blending concrete to grade (GCS).
 4. Backfill to be compacted to 95% Proctor density. Backfill to be compacted to 95% Proctor density. Backfill to be compacted to 95% Proctor density.
 5. Maximum height to be restricted to 1.5m max. Height to be restricted to 1.5m max. Height to be restricted to 1.5m max.
 6. Finished face of wall to be as required by Architect. Facing brick to be fixed back to back with using stainless steel epoxy wall fixers at 500mm vertical and 100mm horizontal centres. Movement joints to be provided at 10m max. Vertical joints to be provided at 10m max. Vertical joints to be provided at 10m max. Vertical joints to be provided at 10m max.

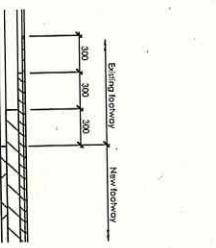
FLEXIBLE FOOTWAY CONSTRUCTION



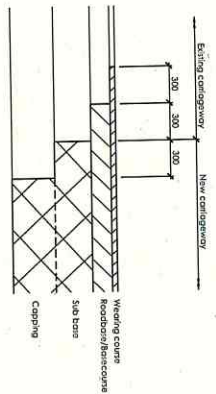
GENERAL ACCESS CARRIAGEWAY / CAR PARK FLEXIBLE CONSTRUCTION



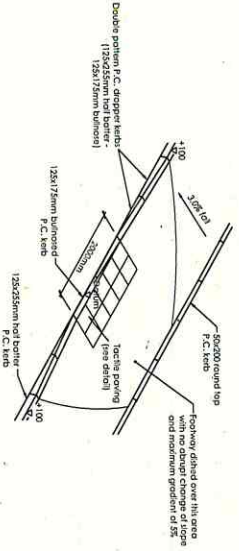
FOOTWAY TRANSITION DETAIL



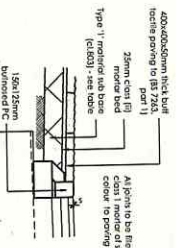
CARRIAGEWAY TRANSITION DETAIL



DROPPED KERB DETAIL



TACTILE PAVING DETAIL



ACIES

1 RANDOLPH CRESCENT
 EDINBURGH EH4 7TH
 TEL: 0131 225 3007 FAX: 0131 225 3008
 WWW.ACIESGROUP.CO.UK

Client: **Beaumont Property Co.**

Project: **Geoskill Road South Edinburgh**

External Works: **Construction Details**

Scale: **BUILDING WARRANT - STAGE A**

Sheet: **SE443 (9)301**

Drawn: **LM**

Check: **SP**

Issue: **A**

• EDINBURGH •

THE CITY OF EDINBURGH COUNCIL

Planning & Transport
PLACE

AMENDMENT TO BUILDING WARRANT

Building (Scotland) Act 2003

Amendment under section 9 of a building warrant

This amendment of the building warrant detailed below is granted by The City of Edinburgh Council in connection with the application for amendment by Owner/Occupier

The reference number of this amendment is - 16/04033/WARR/1

Details of original building warrant

Date of building warrant: 9 October 2017

Reference number of building warrant: 16/04033/WARR

Address of building or site to which the building warrant applies:

Land 30 Metres South Of 31, Groathill Road South, Edinburgh,

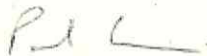
Amendment(s) to original building warrant:

As detailed in the approved plans and associated documentation.

A copy of the plans showing this amendment are enclosed

Signed

Dated 10 November 2017



PAUL LAWRENCE

Executive Director of Place

For and on behalf of

The City of Edinburgh Council

WARNING

Please note that approval of amendment of building warrant does not

- remove the need to obtain amended planning permission if that is required (consult the planning authority if in doubt).
- extend the period of validity of the building warrant.

NOTE: Where the owner is not the applicant, then the verifier will notify the owner of the granting of the amendment to the building warrant as the verifier is required to do in terms of section 9(7)(b) of the Building (Scotland) Act 2003.

City of Edinburgh Council
Executive Director - Place

10 November 2017

Building Warrant - Stage B

ACIES

1. This drawing is to be read in conjunction with the relevant specification and the relevant parts of the Building Warrant.

2. For dimensions refer to drawing number.

3. All dimensions and levels to be checked on site and the Engineer notified of any discrepancy prior to commencement of work.

4. All levels are in metres Above Ordnance Datum (A.O.D.).

5. All reinforcement to have minimum 50mm cover.

Key

Indicates span of proposed suspended slab on ground beams under.

Location of contraction joint, see detail below.

Location of lead longitudinal joint, see detail below.

Location of expansion joint, see detail below.

Indicates location of foundation under.

Indicates location of drainage path.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

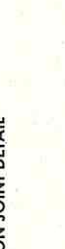
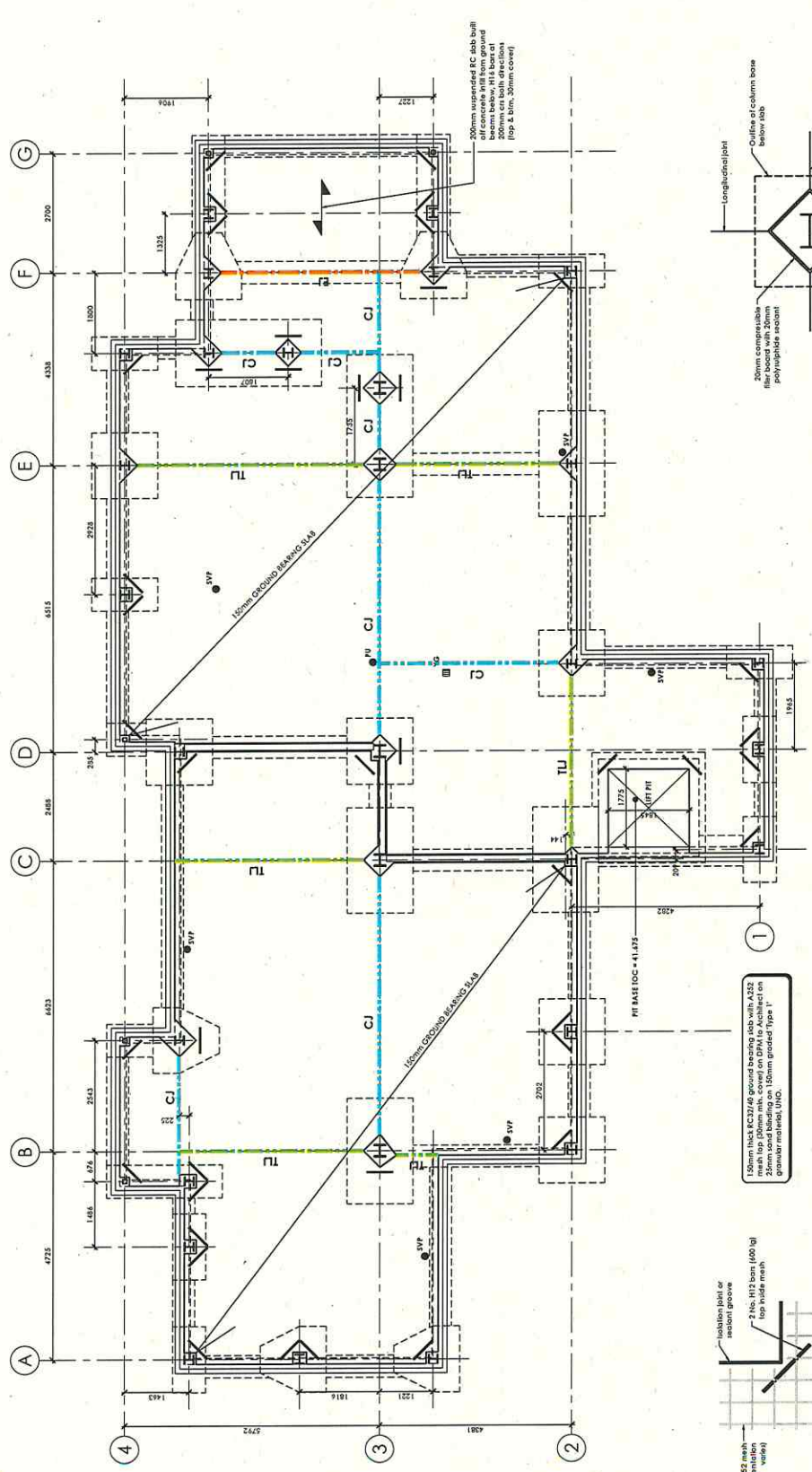
Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.

Indicates location of column base.



CONTRACTION JOINT DETAIL
NB. joints may be formed by crack-induction

TIED LONGITUDINAL JOINT DETAIL

WALL ISOLATION JOINT DETAIL

PLAN ON COLUMN ISOLATION JOINT

CORNER CRACK CONTROL DETAIL

EXPANSION JOINT DETAIL

COLUMN ISOLATION JOINT DETAIL

SE463 101

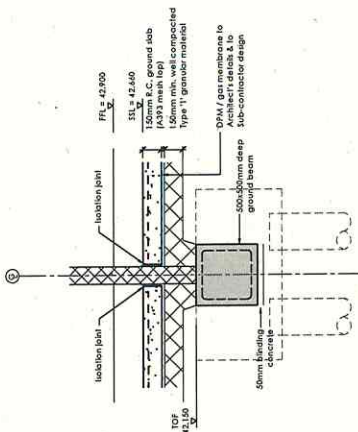
Notes

1. This drawing is to be used in conjunction with relevant Architect and Service Engineer's drawings along with the relevant specifications. For general notes refer to drawing number SE463-102.
2. All dimensions and levels to be checked on site and the Engineer notified of any discrepancies prior to commencement of work.
3. All levels are in metres Above Ordnance Datum (AOD).
4. All reinforcement to have minimum 50mm cover.
5. All reinforcement to be placed in accordance with BS 8007.

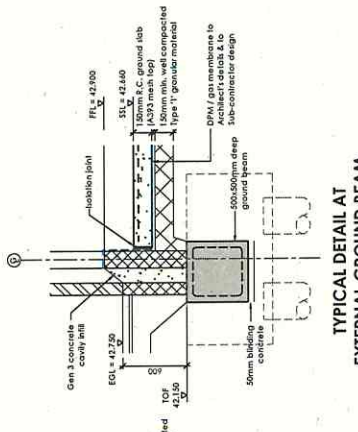
Paul
Executive Director - Place

10 November 2017

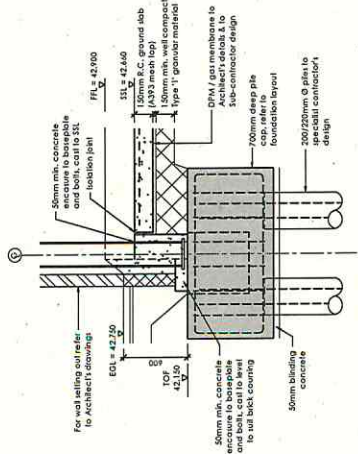
Scale: 1:100 UNO	1:100 UNO	Sheet: 2208.17
Drawn: 5/11	Checked: 11/11	NC
SE463	102	



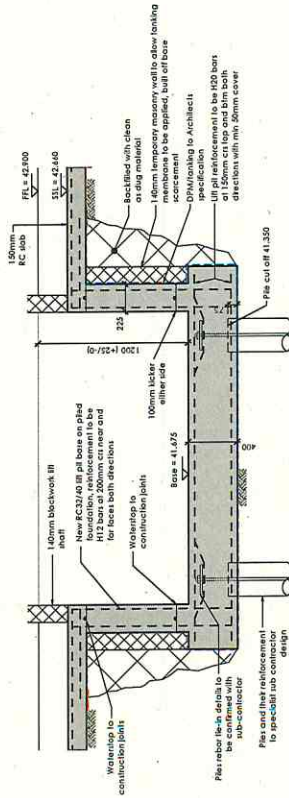
TYPICAL DETAIL AT
INTERNAL GROUND BEAM



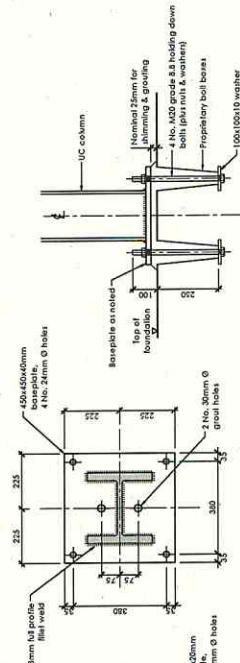
TYPICAL DETAIL AT
EXTERNAL GROUND BEAM



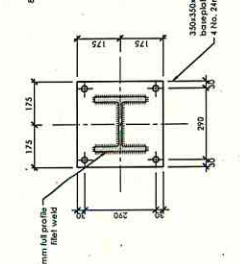
TYPICAL DETAIL AT
EXTERNAL PILE CAP



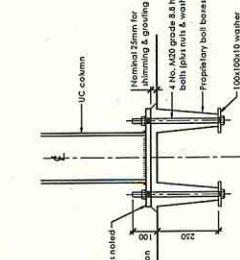
SECTION THROUGH
LIFT PIT



TYPICAL BASEPLATE PLAN
250x254 UC
SCALE 1:10 @ A1



TYPICAL BASEPLATE PLAN
203x203 UC
SCALE 1:10 @ A1



TYPICAL BASEPLATE DETAIL
SCALE 1:10 @ A1



Executive Director - Place

10 November 2017

No. Drawing: BUILDING WARRANT - STAGE B

ACIES

1 RANDOLPH CHECKENT
 EDINBURGH EH1 7TH
 TEL: 0131 225 3007, FAX: 0131 221 3008
 www.edinburgh.acies.co.uk

Client: Beaufort Property Co.

Project: Block of 9 Flats
 100 Canby Road South
 Edinburgh

Drawings: General Notes

SE463	N05	Rev	22.08.17
Rev	27	Rev	18
Rev	18	Rev	17
Rev	17	Rev	16
Rev	16	Rev	15
Rev	15	Rev	14
Rev	14	Rev	13
Rev	13	Rev	12
Rev	12	Rev	11
Rev	11	Rev	10
Rev	10	Rev	9
Rev	9	Rev	8
Rev	8	Rev	7
Rev	7	Rev	6
Rev	6	Rev	5
Rev	5	Rev	4
Rev	4	Rev	3
Rev	3	Rev	2
Rev	2	Rev	1

Ground Work / Temporary Support Notes

1. The following notes to be read in conjunction with the specification and foundation notes. All temporary works shall be designed by the Contractor in accordance with the preminims and the specification.

2. Any contaminated material identified shall be removed from site by the Contractor to an approved disposal site. All temporary works shall be designed and supported and temporary in accordance with the preminims and the specification.

- Control of Pollution Act
- Environmental Protection Act
- Environmental Protection Act of (Civil) Regulations
- Health and Safety at Work Act

3. All work, including the removal of any contaminated material, shall be either done level greater material for the approval of the Engineer, or mass concrete, proximity, road levels, adjacent structures and ground conditions on site.

4. Contractor designed temporary earthworks to take full rate of excavation depth, road disconnection works - provide a report on maintenance of contamination has been removed from site. This report must be submitted to the Engineer in accordance with the specification. The report should include details of any contaminated material which may be encountered during the construction programme.

Foundation Notes

1. Unless noted otherwise, foundations are to be carried under columns and walls. The foundations are to be contractor designed piles - in accordance with site investigation report.

2. Concrete grade in foundations to be as specified in E10:

- RC Beams to columns RC32/40
- RC Ground beams RC32/40

3. Formation level are to be inspected by Structural Engineer and Building Control authority, 48 hour notice to be given. Unsuitable materials to be removed as directed, and replaced with mass concrete as per.

4. Services passing through structure to be isolated and protected - in accordance with the Service Engineer's specifications.

Concrete Notes

1. Unless noted otherwise, the concrete grade is:

- Sub-structure, Ground slab RC32/40
- Composites slabs RC28/25

2. Cover to reinforcement to be as shown on the drawing.

3. Slabbing concrete is to be placed under reinforced concrete in contact with the ground.

4. Openings shown on structural drawings are to be checked by Contractor against relevant services building work drawings prior to construction. Any discrepancies must be down to the attention of the Architect.

5. All holes in reinforced concrete shown on the structural drawings are to be formed.

6. No casting or removal of placed concrete is permitted without prior written agreement of Structural Engineer.

7. The positions and details of all construction joints are to be agreed with Structural Engineer at least 10 working days before works commence.

8. All cast-in-bleed to be sub-contractor designed and detailed.

General Notes

1. Structural drawings to be read in conjunction with the preminims, relevant specifications, attachments and service drawings, including approved building work drawings and specifications and other drawings as soon as they arise.

2. Before related work commences, the Contractor shall submit a method statement and sequence of work to the Architect in accordance with the preminims/specification and Health & Safety Plan.

3. All dimensions are in millimetres unless noted otherwise.

4. Do not scale from the printed drawings or the computer digital data file, if figured dimensions only.

5. Refer to Architect's drawing to:

- setting out dimensions not shown on structural drawings.

6. Structural levels where noted are in metres and are related to Ordnance Datum M.A.O. with immediate reference to the top surface of the concrete.

7. Holes through structural slab and core walls other than those shown on the structural drawings are not permitted without written consent from the Structural Engineer.

8. The Contractor shall be responsible for the design, fabrication, erection and removal of temporary works and shall provide all temporary bracing and back propping necessary to maintain structural stability during construction.

9. Contractor designed (CDP) items include the following:

- Piled foundations
- Asymmetrical & cellular beams
- Steel/steel connections
- Slab (for Architect detail)
- Balustrade, handrail and protective barriers (to Architect detail)
- S/S walls & partitions

10. Design imposed loads:

- Residential 1.5 kN/m²
- Storage 1.5 kN/m² (local frequency of fit required)
- Unbalanced and Protective Barriers to BS 5397 Pt.1

11. Construction sequence requirement which are necessary to achieve structural performance are noted on the structural drawings.

12. Refer to Architect's drawings for details of oil rebreates, unites, channels, cast-in flags, concrete tests, damp proofing, water proofing & isolation.

13. Underpinning, where it is required, to be in accordance with BS 6004.

14. Masonry walls on beam base only. All other walls assumed to be SFS (to contractor's design).

Drainage Notes

1. The drainage is to be read in conjunction with the relevant Architect's & Specialist drawings.

2. All drainage works to be installed and in accordance with the local authority's regulations & details. All necessary consent to be obtained prior to proceeding with any drainage work.

3. All connections to downpipes to be 150mm Ø, unless noted otherwise.

Piling Notes

1. The following notes should be read in conjunction with all relevant Architect, Service Engineer's & Structural drawings & in strict accordance with section 03B of this project specification.

2. The pile caps are based on 200-250mm Ø bored/pile caps driven piles.

3. The piling system is expected to be a bored solution, including normal and mini piles. The design is the responsibility of the Piling Contractor. Piling action noted on the drawings are indicative only.

4. Piling Contractor to verify the piling capacity & the suitability considering ground conditions.

5. The Piling Sub-Contractor to obtain all siting-out information from the Main Contractor.

6. All piles to be taken to a reliable depth accepted by the Engineer to transmit the loads as indicated on the drawings. This shall be conducted in accordance with the load test on pile caps.

7. Construction to be checked by the Contractor to the Engineer for approval and comment in accordance with the specification. It is the Contractor's responsibility to obtain the Engineer's acceptance a minimum of one week in advance to the commencement of work.

8. The Contractor shall refer to the specification for load testing requirements.

9. Allowance for down drag to be determined by the Contractor but shall not be less than 1500N.

10. It is the Contractor's responsibility to locate all services adjacent to the work and ensure that the work is carried out without causing damage to the existing services.

11. Self-weight of piles not included in the filled loadings.

12. Pile reinforcement to be cut off 100 mm below the top of the pile caps.

Place
Executive Director - Place

10 November 2017

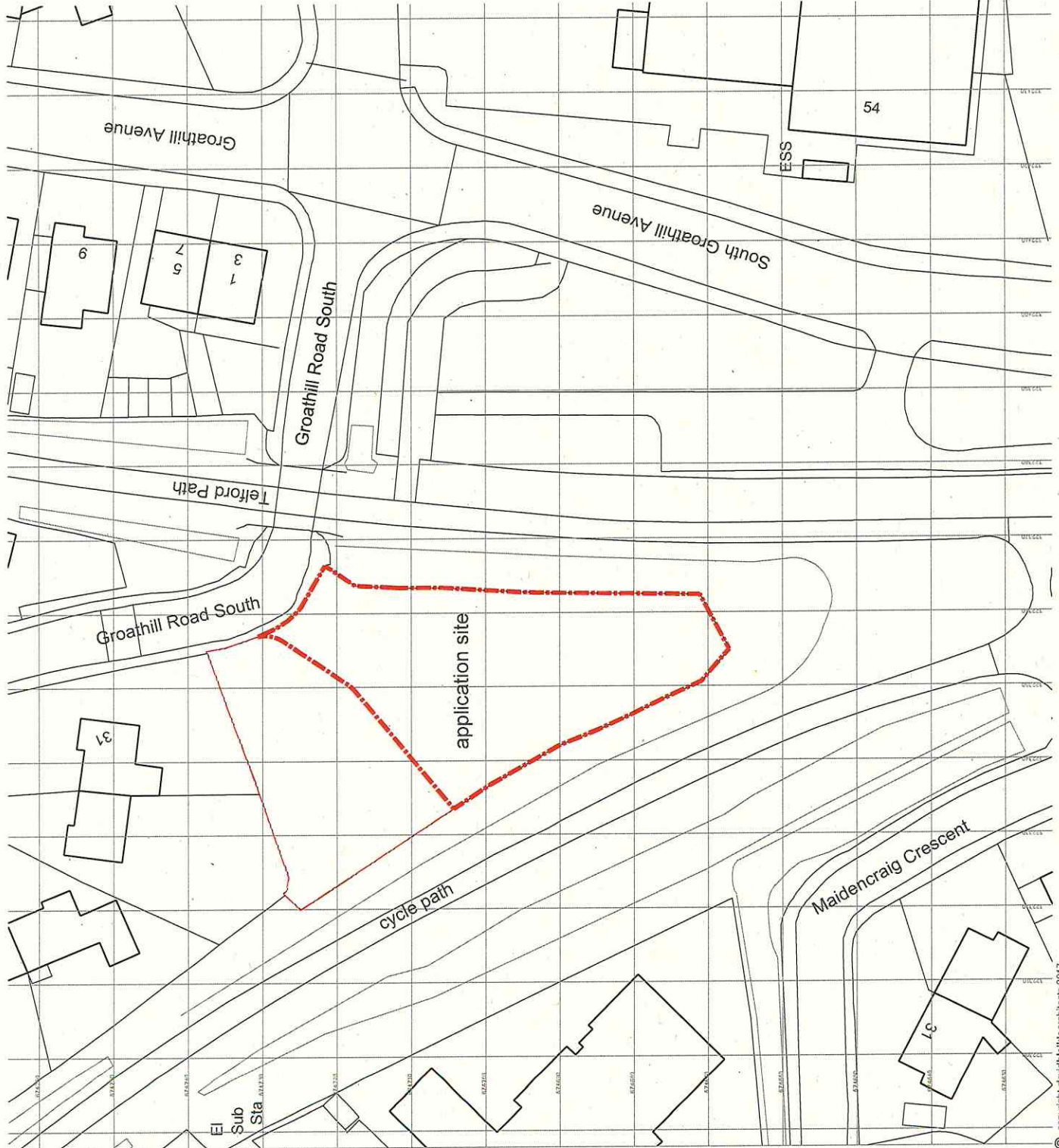
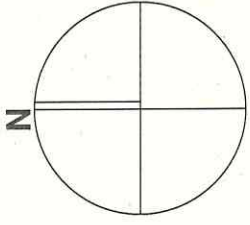
davidblakiearchitects

project
Flats at Groathill Road South, Edinburgh
for
Beaufort Property Company Ltd

drawing title
site location plan
building warrant
STAGE B - sub-structure & foundations

job number: 1310
drawing number: B5/01
scale: 1:500
date: April 2017

10 Deanhaugh Street Edinburgh EH4 1LY
T - 0131 332 1133 E - studio@davidblakiearchitects.com



Paul

Executive Director - Place

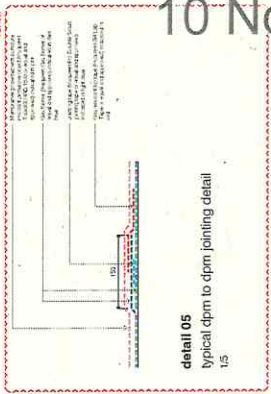
10 November 2017

Construction Specifications

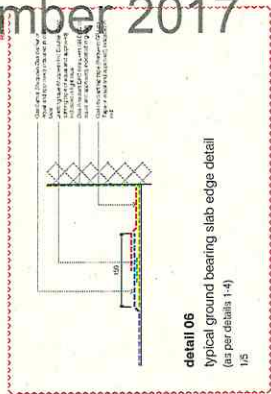


Part 10 - Foundations

- 100mm
- 150mm
- 100mm
- 150mm



detail 05
typical dpm to dpm jointing detail
1/5



detail 06
typical ground bearing slab edge detail
(as per details 1-4)
1/5

NOTE:

To be read in conjunction with ACES drawings, details and specifications.
Ground floor construction included as part of this application. Everything above to be Application and any future application stages agreed with Building Control.

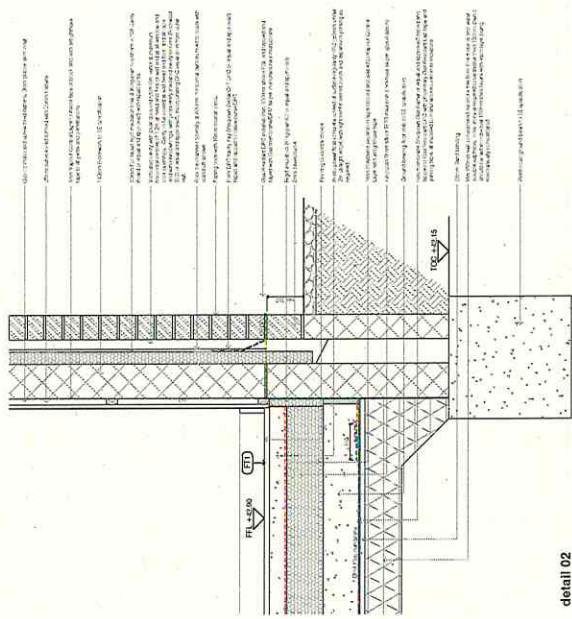
davidblairarchitects

Part of Unwired South, Edinburgh
Beaumont Property Company Ltd

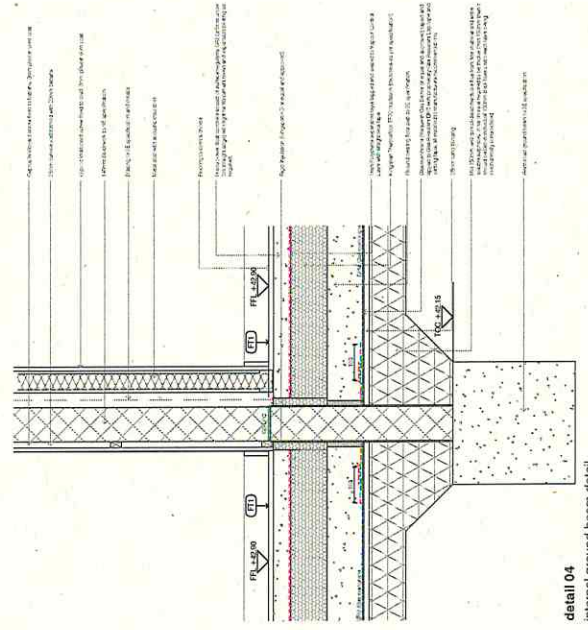
substructure details

building warrant
STAGE 2 - sub-structure and foundations

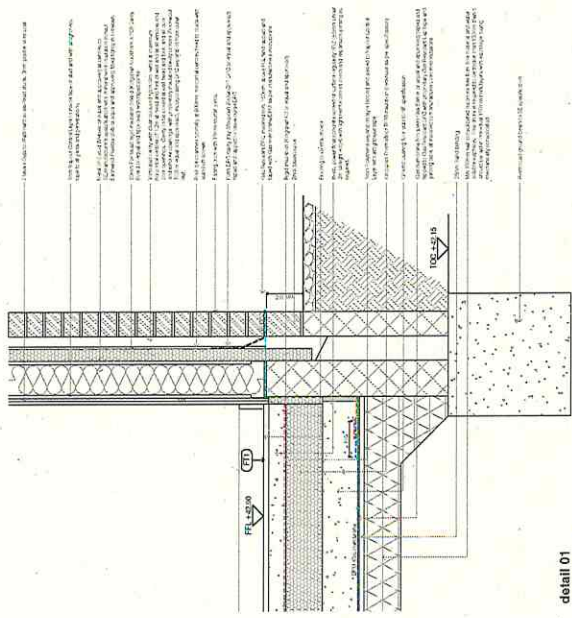
19 Dundas Street, Edinburgh, EH1 1JF
Tel: 0131 221 1111 E: info@davidblairarchitects.com



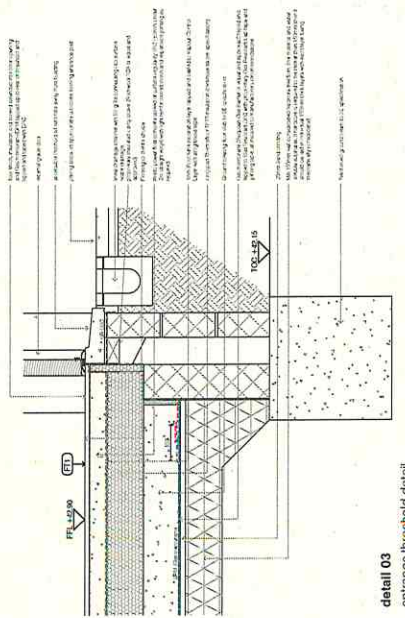
detail 02
foundation/wall base detail
(Blockwork)
1/10



detail 04
internal ground beam detail
1/10



detail 01
foundation/wall base detail
(SFS)
1/10



detail 03
entrance threshold detail
1/10

Executive Director - Place

10 November 2017

Building Warrant - STAGE B

Section 1 - General

All works to comply with The Building (Scotland) Regulations 2004 and approved Amendments, 2015 Technical Handbook (Scotland) The Construction (Design & Management) Regulations 2015. All work to be planned and carried out in full accordance with the relevant British Standards and materials from qualified. Every contract, listing or price or agreement provided to be drawn up in accordance with the Regulations should be designed, assessed, and commissioned in such a way as to fulfil these provisions.

Flames of Materials and Workmanship

All works to be carried out in accordance with relevant standards, and be suitable used and/or adapted as to their intended purpose. Clearance should be made to the extent of the relevant Fire Protection Standard, but not to the extent of the manufacturer's instructions where relevant to.

Section 2 - Fire Protection

All fire protection measures to be designed, specified and installed in accordance with the Fire Protection Regulations 2004 and approved Amendments, 2015. All works to be carried out in accordance with the relevant British Standards and materials from qualified. Every contract, listing or price or agreement provided to be drawn up in accordance with the Regulations should be designed, assessed, and commissioned in such a way as to fulfil these provisions.

Section 3 - Energy Efficiency

Energy efficiency measures to be designed, specified and installed in accordance with the Energy Efficiency Regulations 2004 and approved Amendments, 2015. All works to be carried out in accordance with the relevant British Standards and materials from qualified. Every contract, listing or price or agreement provided to be drawn up in accordance with the Regulations should be designed, assessed, and commissioned in such a way as to fulfil these provisions.

Section 4 - Access

Access to buildings to be designed, specified and installed in accordance with the Access Regulations 2004 and approved Amendments, 2015. All works to be carried out in accordance with the relevant British Standards and materials from qualified. Every contract, listing or price or agreement provided to be drawn up in accordance with the Regulations should be designed, assessed, and commissioned in such a way as to fulfil these provisions.

Section 5 - Air Quality

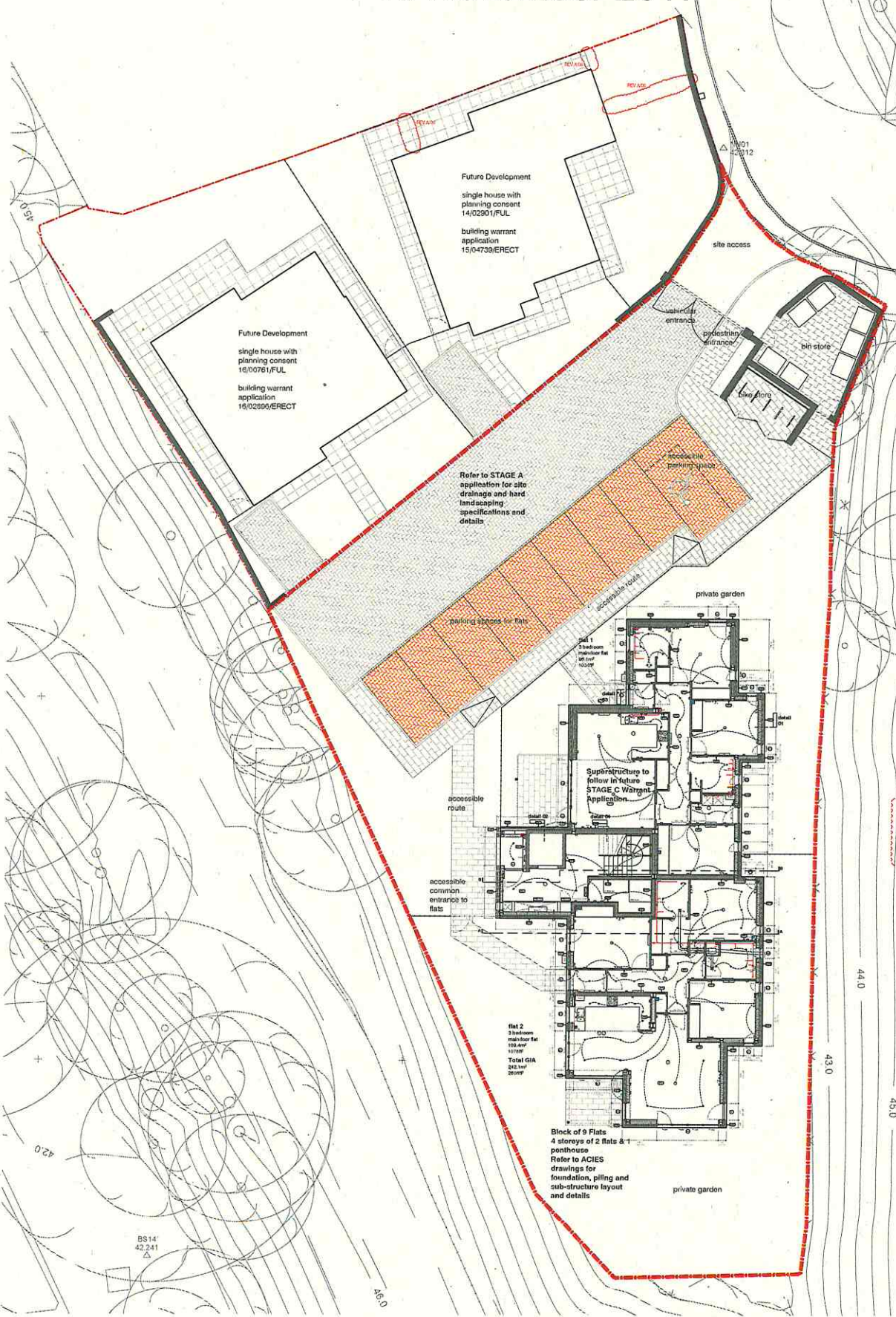
Air quality measures to be designed, specified and installed in accordance with the Air Quality Regulations 2004 and approved Amendments, 2015. All works to be carried out in accordance with the relevant British Standards and materials from qualified. Every contract, listing or price or agreement provided to be drawn up in accordance with the Regulations should be designed, assessed, and commissioned in such a way as to fulfil these provisions.

Section 6 - Noise

Noise measures to be designed, specified and installed in accordance with the Noise Regulations 2004 and approved Amendments, 2015. All works to be carried out in accordance with the relevant British Standards and materials from qualified. Every contract, listing or price or agreement provided to be drawn up in accordance with the Regulations should be designed, assessed, and commissioned in such a way as to fulfil these provisions.

Section 7 - Health and Safety

Health and safety measures to be designed, specified and installed in accordance with the Health and Safety Regulations 2004 and approved Amendments, 2015. All works to be carried out in accordance with the relevant British Standards and materials from qualified. Every contract, listing or price or agreement provided to be drawn up in accordance with the Regulations should be designed, assessed, and commissioned in such a way as to fulfil these provisions.



NOTE:

To be read in conjunction with ACIES substructure drawings, details and specifications

Ground floor construction included as part of this application. Everything above to be included as part of Stage C Warrant Application and any further application stages agreed with Building Control.

dauidblaikearchitects

Plot 1 at Crosshill Road South, Edinburgh
Beaufort Property Company Ltd

site plan

building warrant
STAGE B - sub-structure and foundations

20/11/17
Author: DBA
Check: DBA
Date: 20/11/17

10 Deaithough Street, Edinburgh, EH4 1LY
T: 0131 552 1133 E: info@dauidblaikearchitects.com

